

Waterchase Community Development District

May 11, 2026

Agenda Package

2005 PAN AM CIRCLE, SUITE 300
TAMPA, FLORIDA 33607

CLEAR PARTNERSHIPS



COLLABORATION



LEADERSHIP



Page 1

EXCELLENCE



ACCOUNTABILITY



RESPECT

WATERCHASE COMMUNITY DEVELOPMENT DISTRICT

Board of Supervisors
Ian Watson, Chairman
Salvator Mancini, Vice Chairman
Michael Acheson, Assistant Secretary
G. Arnie Daniels, Assistant Secretary
Christopher Rizzo, Assistant Secretary

Staff:
Howard Neal, District Manager
Whitney Sousa, District Counsel
Tonja Stewart, District Engineer
John Fowler, Field Inspector
Fernand Thomas, District Accountant
Melissa Williams, District Admin

REGULAR MEETING AGENDA Monday, May 11, 2026 – 6:00 p.m.

- 1. Call to Order and Roll Call**
- 2. Audience Comments – Three (3) Minute Time Limit**
- 3. Staff Reports**
 - A. District Counsel
 - i. Review of Memorandum Regarding Fishing in District Ponds.....Page 3
 - B. District Engineer.....Page 5
 - i. Consideration of ACP for Retaining Wall Proposal.....Page 6
 - ii. Review of Retaining Wall Exhibits 1-6.....Page 12
 - C. Aquatics Report.....Page 23
 - i. Steadfast Pond #13 Littoral Planting Proposal with Images.....Page 24
 - ii. Steadfast Fountain Light Repair Proposal #SCA3248 Page 28
 - iii. Fuller Electrical Water Fountain Repair Proposal #86136..... Page 29
 - iv. Steadfast Aquatics Maintenance Proposal Page 30
 - D. Landscape Report..... Page 36
 - i. LMP Meridian Brazilian Pepper Pushback Proposal #393922..... Page 50
 - E. Field Inspection Report..... Page 53
 - F. District Manager
 - i. Registered Voter Count (1805)..... Page 61
- 4. Business Items**
 - A. Consideration of L&T Brothers Light Pole Proposal..... Page 62
 - B. Consideration of Inframark Light Pole Proposal #303..... Page 65
 - C. Consideration of Resolution 2026-04; Designating Assistant Secretary Page 67
 - D. Consideration of Resolution 2026-05; Approving FY2026-2027 Proposed Budget and Setting Public Hearing Page 68
 - i. Discussion of Exhibit A – FY2026-2027 Proposed Budget First Draft
 - E. Consideration of LLS Tax Solutions Engagement Letter..... Page 69
- 5. Business Administration**
 - A. Consideration of Minutes from the Meeting held April 13,2026..... Page 72
 - B. Review of Financial Statement for the Month of March 2026 Page 80
- 6. Supervisor Requests**
- 7. Audience Comments – Three (3) Minute Time Limit**
- 8. Adjournment**

*The next CDD Workshop is Thursday, May 18, 2026, at 8:00 p.m.
The next regular Board meeting is scheduled for Monday, June 8, 2026, at 6:00 p.m.*

District Office:
Inframark
2005 Pan Am Circle, Suite 300
Tampa, Florida 33607

Meeting Location:
Waterchase Clubhouse
14401 Waterchase BLVD.
Tampa, Florida, 33626

MEMORANDUM

To: Board of Supervisors of the Waterchase Community Development District
From: Straley Robin Vericker, District Counsel
Date: April 16, 2026
Subject: Legal Considerations for Fishing in District Stormwater Ponds

Issue

The Waterchase Community Development District (“**District**”) is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*. The District is considering allowing catch-and-release fishing in certain District stormwater pond(s) and has requested staff input, including legal guidance regarding potential impacts and operational concerns. The primary legal issues raised include potential liability to the District, impacts on adjacent residents and property lines, and safety concerns associated with access to and use of the pond banks. This memorandum summarizes those considerations and provides recommendations for the Board’s consideration.

Analysis

Liability and Access

Permitting fishing may increase the District’s exposure to claims arising from slips, falls, wildlife encounters, or other incidents near the pond banks. Clear access restrictions, signage, and designation of authorized locations will help reduce uncertainty and support enforcement. The Board may authorize catch-and-release fishing in designated District-owned ponds where the District also owns the property providing public access. To address liability and safety concerns, the Board may wish to limit fishing to one designated pond and should require that access only occur through District-owned property.

If fishing is permitted, appropriate signage should be installed, including notices such as Catch-and-Release Only, Use at Your Own Risk, No Swimming or Wading, and Fishing in Designated Areas Only. The Board should also consider consultation with the District’s insurance carrier regarding any liability implications.

Impact on Residents and Property Lines

The Board should also consider the potential impacts on adjacent properties and homeowners whose lots back up to the ponds. Fishing should be limited to designated common areas only, and residents and guests should not access ponds through private lots or District maintenance easements located across private property. A clear policy prohibiting trespass and limiting access to common areas will help minimize disputes and protect private property rights. Unauthorized access may result in removal from the area or trespass warnings.

Safety, Maintenance, and Restricted Areas

Because these areas are maintained for drainage purposes, some portions of the banks may not be suitable for public use. Safety remains an important consideration, particularly due to steep banks, slippery

conditions, changing water levels, and wildlife. For that reason, any permitted fishing should be restricted to daylight hours and only in areas determined by the Board to be reasonably safe.

There may be areas along the pond banks where fishing must be restricted because such use may cause erosion, create safety hazards, or interfere with District maintenance activities. Those restricted areas should be clearly marked so individuals are aware that fishing is not permitted from those locations. In addition, if there is no sign designating a drainage area as an authorized fishing location, fishing is not authorized at that location.

Because the ponds are used for stormwater pollutant treatment, any fish caught should be immediately released back into the designated pond.

Enforcement and District Operations

If the Board authorizes fishing, adoption of a formal fishing policy is recommended. Enforcement options for the District are limited, particularly since the District does not own/operate the amenity. The District's primary enforcement mechanisms would consist of posted rules, monitoring by staff, and directing violators to leave District property. In cases of noncompliance, enforcement would generally require involvement of local law enforcement to address trespass or refusal to leave District property. Accordingly, clear signage and a well-defined policy are critical to support enforcement and avoid ambiguity regarding authorized use.

Conclusion

The Board may authorize catch-and-release fishing in designated CDD ponds, provided that access is limited to clearly marked District-owned areas and subject to appropriate safety, maintenance, and liability restrictions. Limiting fishing to designated locations, with posted signage and restricted bank access where necessary, will help reduce risk to the District and minimize impacts on adjacent residents and property. Adoption of a formal fishing policy is also recommended.



Work Order Request

Project: Waterchase Retaining Walls
Order #: 28438
Date: 4/14/2026

ACP Project Manager
Chad Finch
cfinch@acpfl.com
(813) 857-2924

CLIENT
Waterchase Community Development District

We hereby propose to do the below described change for the amount indicated upon your acceptance of this Work Order Request.

Description of Work:

Provide site assessment / maintenance guide / repair options for previously installed modular block retaining walls throughout the Waterchase community. Site assessment to include measurement of existing walls, investigative hand digging behind walls, write up of current wall conditions and repair options. Site assessment to take place after October 1st 2026 and possible repairs to take place after October 1st 2027.

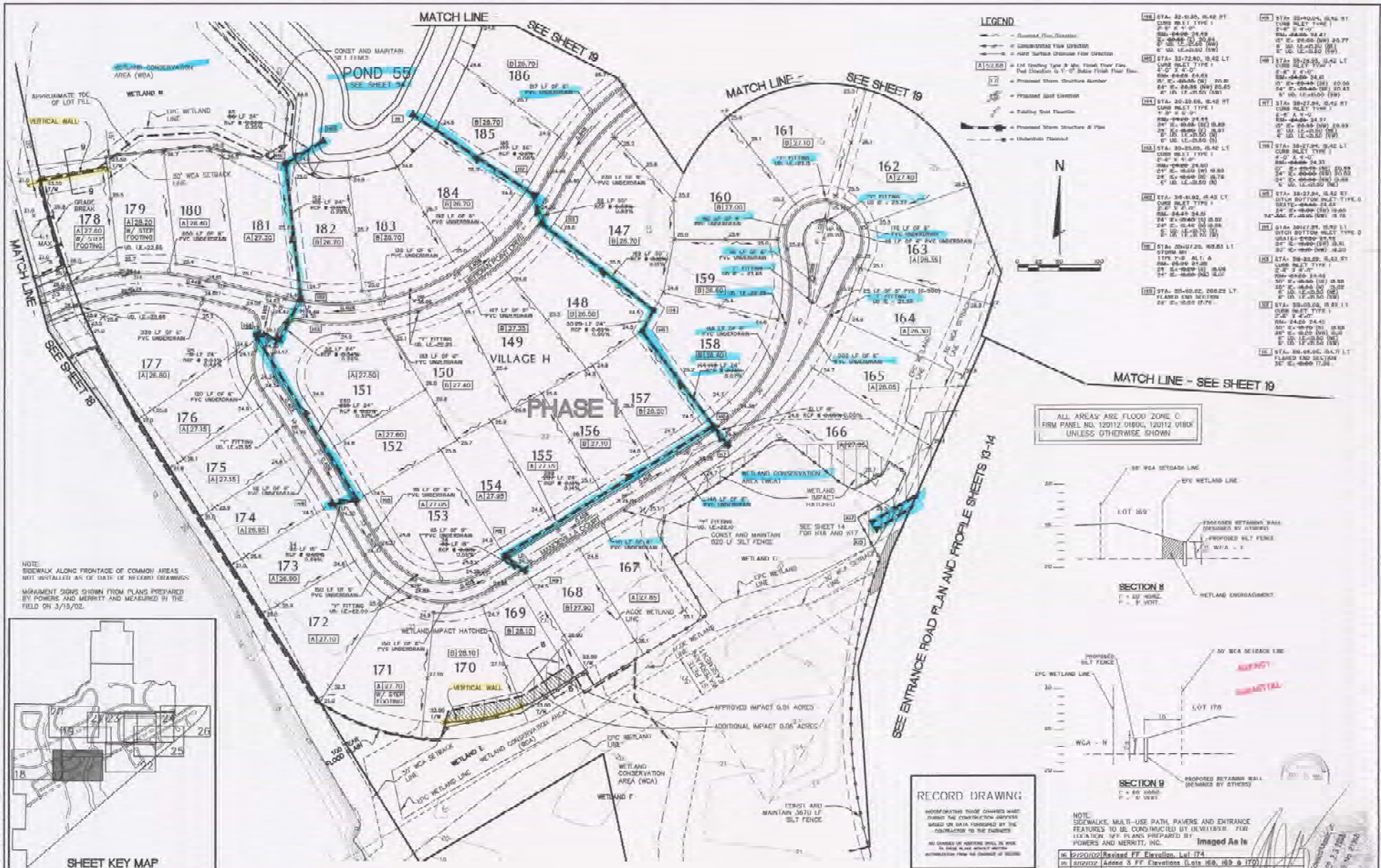
Total	\$1,200.00
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Sincerely,
Associated Construction Products, Inc.

Accepted by:

Name

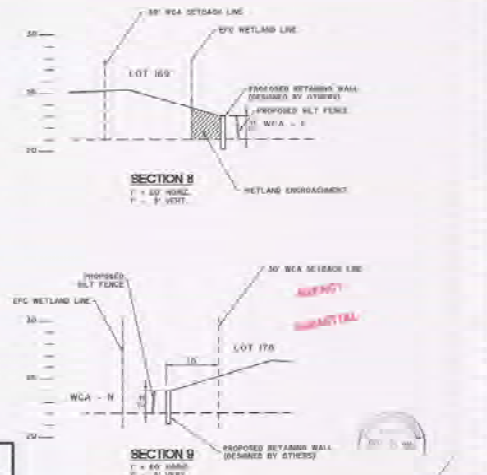
Date



- LEGEND**
- Proposed Flow Direction
 - - - - - Unimproved Flow Direction
 - - - - - Hard Surface Drainage Flow Direction
 - - - - - 1st Existing Type & Size Flood Flow Pipe (Not Shown is 1" of Base Flood Flow Pipe)
 - - - - - Proposed Storm Structure Number
 - - - - - Proposed Spot Elevation
 - - - - - Existing Spot Elevation
 - - - - - Proposed Storm Structure & Pipe
 - - - - - Underlain Channel



ALL AREAS ARE FLOOD ZONE C.
FIRM PANEL NO. 120112 DIB00, 120112 U000
UNLESS OTHERWISE SHOWN



RECORD DRAWING

HEREON/ON THIS DRAWING/ON THESE SHEETS THE CONTRACTOR AGREES TO BE RESPONSIBLE FOR THE ACCURACY OF THE DATA PREPARED BY THE CONTRACTOR TO THE EXTENT:

NO CHANGE IN EXISTING DATA TO WHICH THIS DRAWING IS BASED WITHOUT NOTICE.

EXCEPT WHERE SHOWN OTHERWISE THIS DRAWING IS THE PROPERTY OF THE ENGINEER.

NOTE: SIDEWALK, MULTI-USE PATH, PARKING AND ENTRANCE FEATURES TO BE CONSTRUCTED BY DEVELOPER. FIRE LIGATION, 3/8" PLANS PREPARED BY:

Imaged As Is

NOTE: SIDEWALK ALONG FRONTAGE OF COMMON AREAS NOT INSTALLED AS OF DATE OF RECORD DRAWINGS.

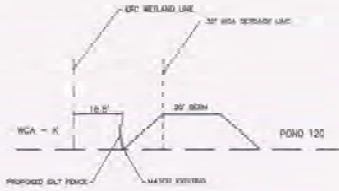
ALIGNMENT DIMS SHOWN FROM PLANS PREPARED BY POWERS AND MERRITT AND MEASURED IN THE FIELD ON 3/15/02.



<p>DATE: 02/20/02</p> <p>BY: JRM</p> <p>APP: JRM</p> <p>SCALE: AS SHOWN</p>	<p>PREPARED FOR:</p> <p>TAYLOR WOODROW COMMUNITIES</p> <p>1990 Irons Track Road Tampa, Florida 33606 TEL (813) 792-1033 FAX (813) 797-8753</p>	<p>SHEET DESCRIPTION:</p> <p>WATERCHASE - PHASE I PAVING, GRADING AND DRAINAGE PLAN</p>	<p>DATE: 02/20/02</p> <p>BY: JRM</p> <p>APP: JRM</p> <p>SCALE: AS SHOWN</p>
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421334/01

RECORD DRAWING
 INCORPORATING THESE CHANGES MADE
 DURING THE CONSTRUCTION PERIOD
 BASED ON DATA PROVIDED BY THE
 CONTRACTOR TO THE ENGINEER
 NO CHANGES IN ADDRESS SHALL BE MADE
 ON THIS PLAN UNLESS SHOWN
 OTHERWISE BY THE CONTRACTOR'S RECORD

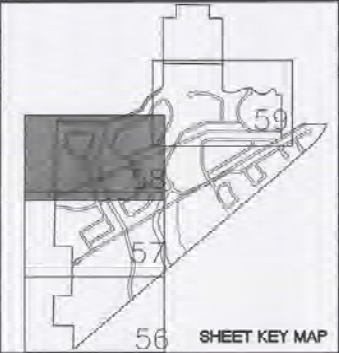


SECTION 15
 1" = 50' HORIZ.
 1" = 4' VERT.

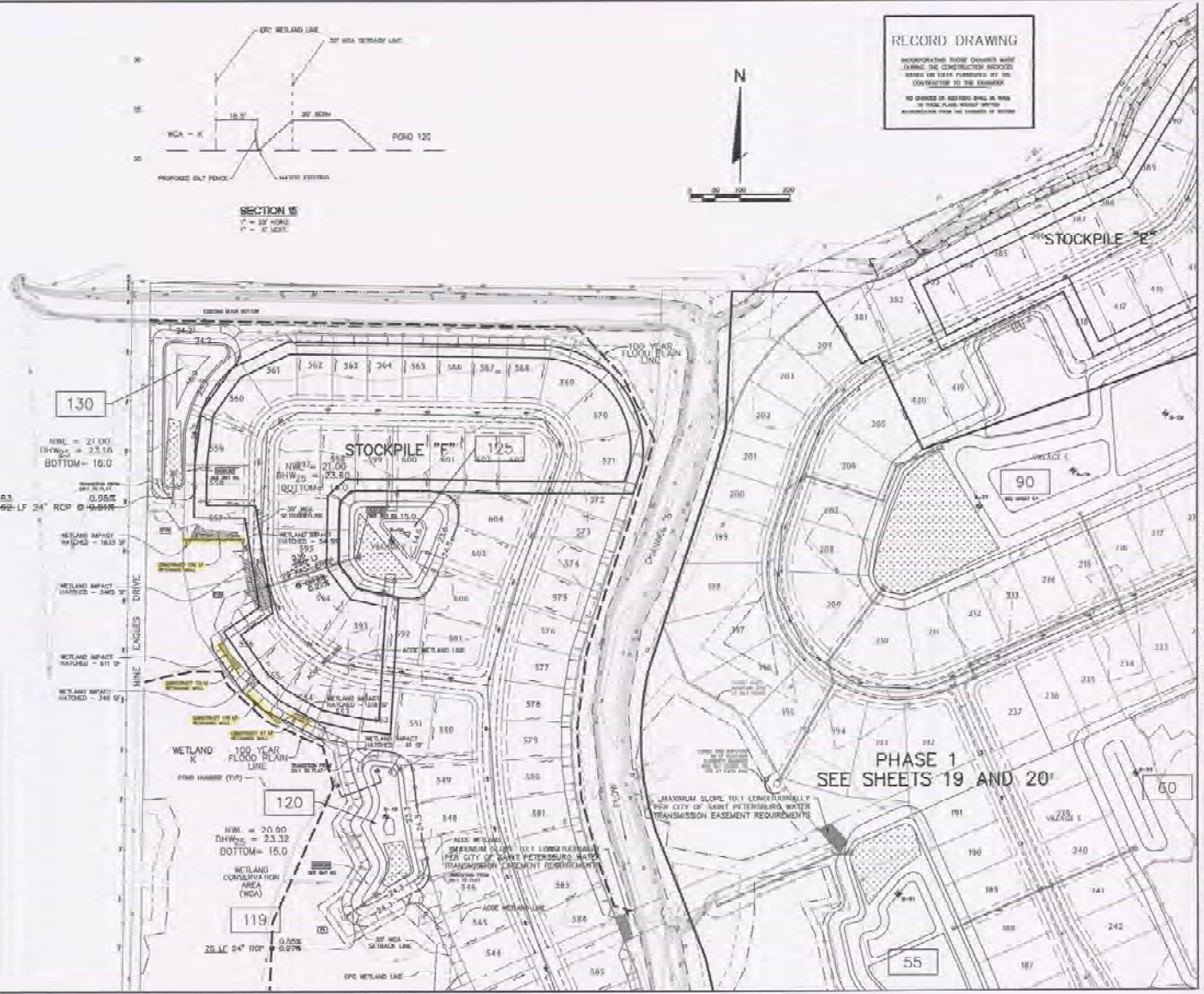
- 151 STA-
FLARED END SECTION
24" 10" WIDE TALL
- 152 STA-
FLARED END SECTION
36" X 45" 2" WIDE TALL
- 153 STA-
FLARED END SECTION
50" 36" WIDE TALL



TYPICAL STOCK PILE DETAIL
 1/2" = 1' VERT.



SHEET KEY MAP



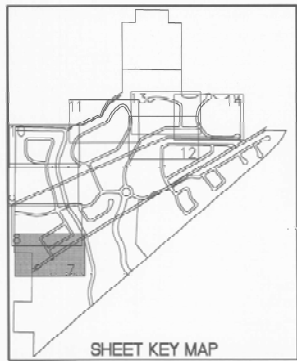
PHASE 1
 SEE SHEETS 19 AND 20

MATCH LINE - SEE SHEET 57

MATCH LINE - SEE SHEET 59

AGENCY
 SUBMITTAL

SEE STANDARD POND DETAIL SHEET 4
 PHASE 1 POND AND SUBMITTAL
 VOLUME FORM AS REQUIRED



- LEGEND**
- Overland Flow Direction
 - Concentrated Flow Direction
 - Hard Surface Drainage Flow Direction
 - Lot grading type & min. finish floor elev.
 - Proposed Spot Elevation
 - Existing Spot Elevation
 - Proposed Storm Structure & Pipe
 - Existing Storm Structure & Pipe
 - Proposed SW Fence
 - Phase 2 Wetland Impact

SECTION 1
F = 20' HORIZ.
V = 5' VERT.

SECTION 2
F = 20' HORIZ.
V = 5' VERT.

RECORD DRAWING
INCORPORATING THOSE CHANGES MADE DURING THE CONSTRUCTION PROCESS BASED ON DATA FURNISHED BY THE CONTRACTOR TO THE ENGINEER.

Imaged As Is

DATE	DESCRIPTION	BY	CHK
4/10/12	ADDED RECORD DRAWING INFORMATION		
4/10/12	ADDITIONAL WETLAND IMPACTS ADDED		
10/14/10	REVISED PER HILLSBOROUGH CO. COMMENTS		
10/3/10	ADDED UNDER DRAIN		
1/15/10	REVISED STORM DATA		

FLORIDA DESIGN CONSULTANTS, INC.
ENGINEERS, ENVIRONMENTALISTS, SURVEYORS & PLANNERS
3030 Stocking Blvd., New Port Richey, FL 34653
Tel: (727) 949-1800 Fax: (727) 949-3049

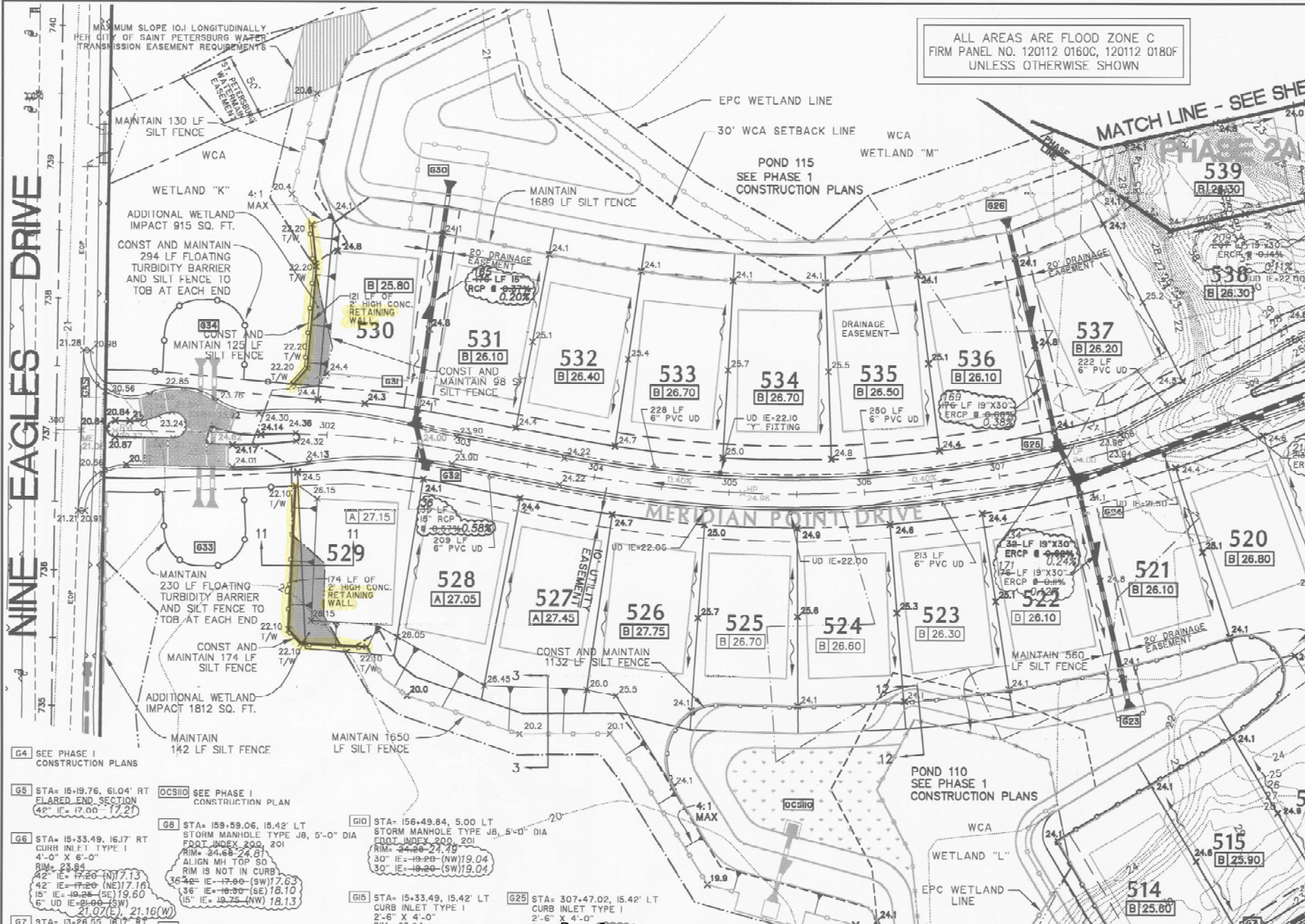
PREPARED FOR:
TAYLOR WOODROW COMMUNITIES
14910 Rice Trunk Road
Tampa, Florida 33626
TEL (813) 799-1533 FAX (813) 799-0753

SHEET DESCRIPTION:
**WATERCHASE - PHASE 2 AND PHASE 2A
PAVING, GRADING AND DRAINAGE PLAN**

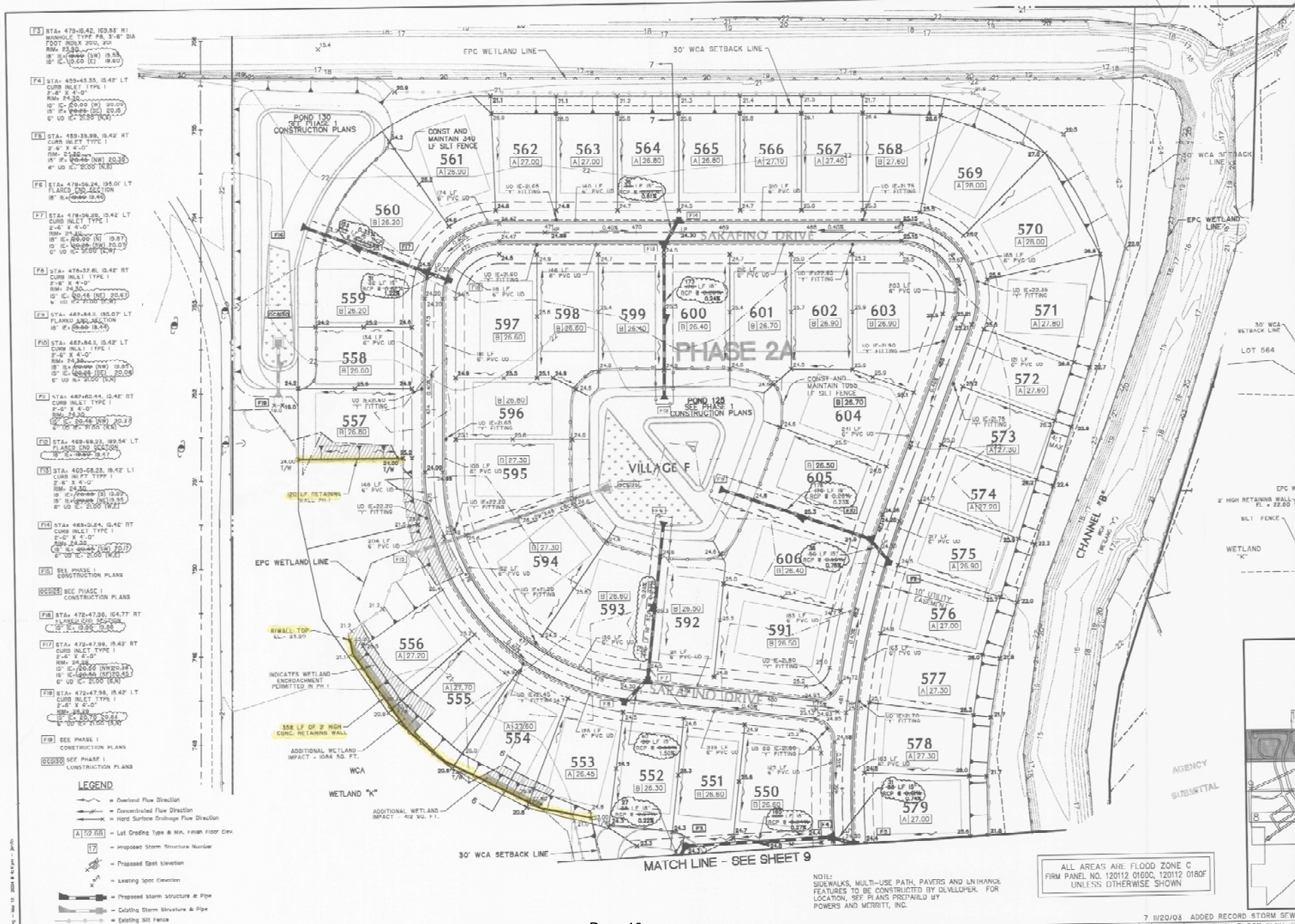
DATE	DESCRIPTION
10/14/10	ADDED UNDER DRAIN
1/15/10	REVISED STORM DATA

4921339.03

ALL AREAS ARE FLOOD ZONE C
 FIRM PANEL NO. 120112 0160C, 120112 0180F
 UNLESS OTHERWISE SHOWN



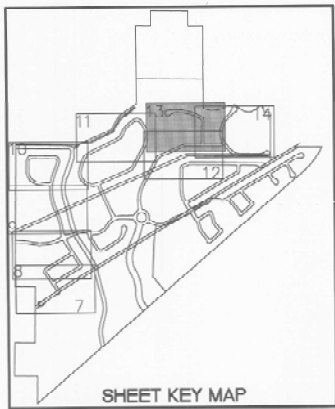
- [G4] SEE PHASE I CONSTRUCTION PLANS
- [G5] STA= 15+19.76, 61.04' RT FLARED END SECTION
42" IE= 17.00 (W) 17.21
- [G6] STA= 15+33.49, 16.17' RT CURB INLET TYPE I
RIM= 23.84
42" IE= 17.20 (NW) 17.13
42" IE= 17.20 (NE) 17.16
15" IE= 19.26 (SE) 19.60
6" UD IE= 21.60 (SW)
21.07(E), 21.16(W)
- [G7] STA= 15+28.55, 16.17' RT
- [GCS10] SEE PHASE I CONSTRUCTION PLAN
- [G8] STA= 159+59.06, 15.42' LT STORM MANHOLE TYPE JB, 5'-0" DIA
FOOT INDEX 200, 201
RIM= 24.65 (24.81)
ALIGN MH TOP SO
RIM IS NOT IN CURB
36" IE= 17.80 (SW) 17.63
36" IE= 18.30 (SE) 18.10
15" IE= 19.25 (NW) 18.13
- [G10] STA= 156+49.84, 5.00' LT STORM MANHOLE TYPE JB, 5'-0" DIA
FOOT INDEX 200, 201
RIM= 24.20 (24.70)
30" IE= 19.20 (NW) 19.04
30" IE= 19.20 (SW) 19.04
- [G15] STA= 15+33.49, 15.42' LT CURB INLET TYPE I
2'-6" X 4'-0"
- [G25] STA= 307+47.02, 15.42' LT CURB INLET TYPE I
2'-6" X 4'-0"



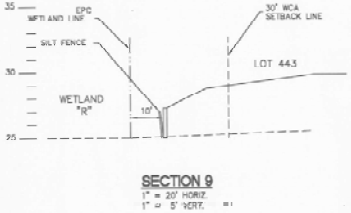
- [F1] STA: 479+0.42, 169.83' RI
MANHOLE TYPE PA, 3'-6" DIA
FOOTING: 2'00, 2'01
RM: 23.35
18" IC: (99.90) (W) 19.55
18" IC: (99.60) (E) 19.40
- [F4] STA: 459+45.35, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 19.00
18" IC: (99.90) (E) 20.05
6" UD IC: 21.20 (W)
- [F5] STA: 459+35.99, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.30
6" UD IC: 21.00 (W)
- [F6] STA: 478+56.24, 195.07' LT
FLARED 380-SECTION
18" IC: (99.90) 19.40
- [F7] STA: 478+56.25, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (N) 19.87
18" IC: (99.90) (W) 20.00
6" UD IC: 21.00 (W)
- [F8] STA: 478+32.81, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (NE) 20.87
6" UD IC: 21.00 (W)
- [F9] STA: 469+84.83, 195.07' LT
FLARED 380-SECTION
18" IC: (99.90) 19.40
- [F10] STA: 469+84.83, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 19.97
18" IC: (99.90) (E) 20.09
6" UD IC: 21.00 (W)
- [F11] STA: 469+80.44, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.37
6" UD IC: 21.00 (E)
- [F12] STA: 469+80.23, 193.54' LT
FLARED 380-SECTION
18" IC: (99.90) 19.47
- [F13] STA: 469+68.23, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (S) 19.00
18" IC: (99.90) (E) 19.35
6" UD IC: 21.00 (W)
- [F14] STA: 469+50.84, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.17
6" UD IC: 21.00 (W)
- [F15] STA: 472+47.50, 164.77' RT
FLARED 380-SECTION
18" IC: (99.90) 19.48
- [F17] STA: 472+47.98, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.38
18" IC: (99.90) (E) 20.45
6" UD IC: 21.00 (E)
- [F18] STA: 472+47.98, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.38
18" IC: (99.90) (E) 20.45
6" UD IC: 21.00 (E)
- [F19] SEE PHASE I CONSTRUCTION PLANS
- [CG10] SEE PHASE I CONSTRUCTION PLANS
- [F20] STA: 472+47.50, 164.77' RT
FLARED 380-SECTION
18" IC: (99.90) 19.48
- [F21] STA: 472+47.98, 15.42' RT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.38
18" IC: (99.90) (E) 20.45
6" UD IC: 21.00 (E)
- [F22] STA: 472+47.98, 15.42' LT
CURB INLET TYPE I
2'-6" X 4'-0"
RM: 24.30
18" IC: (99.90) (W) 20.38
18" IC: (99.90) (E) 20.45
6" UD IC: 21.00 (E)
- [F23] SEE PHASE I CONSTRUCTION PLANS
- [CG11] SEE PHASE I CONSTRUCTION PLANS

- LEGEND**
- Overland Flow Direction
 - Concentrated Flow Direction
 - Hard Surface Drainage Flow Direction
 - [A] 27.65 — Lot Grading Type & Min. Finish Floor Elev.
 - [17] — Proposed Storm Structure Number
 - Proposed Spot Elevation
 - Existing Spot Elevation
 - Proposed Storm Structure & Pipe
 - Existing Storm Structure & Pipe
 - Existing Silt Fence

NOTE:
SIDEWALKS, MULTI-USE PATH, PAVERS AND LINNANCE
FEATURES TO BE CONSTRUCTED BY DEVELOPER. FOR
LOCATION, SEE PLANS PREPARED BY
POWERS AND MERRITT, INC.



- LEGEND**
- Proposed Flow Direction
 - - - - - Contaminated Flow Direction
 - - - - - Hard Surface Drainage Flow Direction
 - [A] 52.00 - Let Grading Type & Min. Finish Floor Elev.
 - [17] - Proposed Storm Structure Number
 - - - - - Proposed Spot Elevation
 - - - - - Existing Spot Elevation
 - - - - - Proposed Storm Structure & Pipe
 - - - - - Existing Silt Fence
 - - - - - Proposed Silt Fence
 - - As-built



ALL AREAS ARE FLOOD ZONE C
FIRM PANEL NO. 120112 0160C, 120112 0180F
UNLESS OTHERWISE SHOWN

- [012] STA= 209+90.51, 226.46' LT
FLARED END SECTION
24" I.D. = 26.00 (S) 19.84
18" I.D. = 23.5 (LW)
- [013] STA= 208+80.21, 15.42' LT
CURB INLET TYPE 1
2'-8" X 6'-0"
ROW= 28.00 (S) 19.84
18" I.D. = 23.5 (LW)
24" I.D. = 26.00 (S) 19.84
18" I.D. = 23.5 (LW)
- [014] STA= 209+58.66, 16.42' RT
3" RIB 30 FT TYPE 111
2'-8" X 6'-0"
ROW= 28.00 (S) 19.84
18" I.D. = 23.5 (LW)
24" I.D. = 26.00 (S) 19.84
18" I.D. = 23.5 (LW)
- [015] STA= 203+15.00, 215.00' LT
FLARED END SECTION
36" I.D. = 26.00 (S) 20.47
- [016] STA= 203+18.00, 16.17' LT
CURB INLET TYPE 1
4'-0" X 6'-0"
ROW= 28.00 (S) 19.84
18" I.D. = 23.5 (LW)
24" I.D. = 26.00 (S) 19.84
18" I.D. = 23.5 (LW)
- [017] STA= 203+15.00, 16.42' RT
3" RIB 30 FT TYPE 111
2'-8" X 6'-0"
ROW= 28.00 (S) 19.84
18" I.D. = 23.5 (LW)
24" I.D. = 26.00 (S) 19.84
18" I.D. = 23.5 (LW)

RECORD DRAWING
INCORPORATING THOSE CHANGES MADE
DURING THE CONSTRUCTION PROCESS
BASED ON DATA FURNISHED BY THE
CONTRACTOR TO THE ENGINEER

NO CHANGES OR ADDITIONS SHALL BE MADE
TO THESE PLANS WITHOUT WRITTEN
AUTHORIZATION FROM THE CHIEF OF RECORD

AGENCY
SUBMITTAL



Waterchase CDD Aquatics

Inspection Date:

4/30/2026 12:03 PM

Prepared by:

Matt Goldrick

Account Manager

STEADFAST OFFICE:

WWW.STEADFASTENV.COM
813-836-7940

Inspection Report

SITE: 1

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

The spatterdock offshore is contained. If it expands outward, technicians will treat heavier to fully clear it.
No algae observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	Subsurface Filamentous	Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
	Torpedo Grass	Pennywort	Babytears Chara
	Hydrilla	Slender Spikerush	<input checked="" type="checkbox"/> Other: Spatterdock

SITE: 2

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

Very mild nuisance growth at the water's edge. This is likely submersed vegetation exposed from dropping water levels. Technicians have been spraying during maintenance events.
No algae observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	Subsurface Filamentous	Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
	Torpedo Grass	Pennywort	Babytears Chara
	Hydrilla	<input checked="" type="checkbox"/> Slender Spikerush	Other:

Inspection Report

SITE: 3

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

No algae or nuisance grass observed. Routine monitoring and treatment as needed will continue.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	<input type="checkbox"/> Turbid	<input type="checkbox"/> Tannic	
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Subsurface Filamentous	<input type="checkbox"/> Surface Filamentous	<input type="checkbox"/> Planktonic
		<input type="checkbox"/> Minimal	<input type="checkbox"/> Moderate	<input type="checkbox"/> Substantial
<u>GRASSES:</u> <input checked="" type="checkbox"/> N/A				
<u>NUISANCE SPECIES OBSERVED:</u>				
	<input type="checkbox"/> Torpedo Grass	<input type="checkbox"/> Pennywort	<input type="checkbox"/> Babytears	<input type="checkbox"/> Chara
	<input type="checkbox"/> Hydrilla	<input type="checkbox"/> Slender Spikerush	<input type="checkbox"/> Other:	

SITE: 5

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

No algae or nuisance grass observed. Routine monitoring and treatment as needed will continue.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	<input type="checkbox"/> Turbid	<input type="checkbox"/> Tannic	
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Subsurface Filamentous	<input type="checkbox"/> Surface Filamentous	<input type="checkbox"/> Planktonic
		<input type="checkbox"/> Minimal	<input type="checkbox"/> Moderate	<input type="checkbox"/> Substantial
<u>GRASSES:</u> <input checked="" type="checkbox"/> N/A				
<u>NUISANCE SPECIES OBSERVED:</u>				
	<input type="checkbox"/> Torpedo Grass	<input type="checkbox"/> Pennywort	<input type="checkbox"/> Babytears	<input type="checkbox"/> Chara
	<input type="checkbox"/> Hydrilla	<input type="checkbox"/> Slender Spikerush	<input type="checkbox"/> Other:	

Inspection Report

SITE: 9

Condition: Excellent Great ✓Good Poor Mixed Condition ✓Improving



Comments:

Any filamentous algae present is decaying from treatment last week. Decay times are extended right now due to drought, thus visual improvements will not become evident for a few more days. The patches of nuisance grasses were also addressed last week.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	<input type="checkbox"/> Turbid	<input type="checkbox"/> Tannic
<u>ALGAE:</u>	N/A	<input type="checkbox"/> Subsurface Filamentous	<input checked="" type="checkbox"/> Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
<input checked="" type="checkbox"/> Torpedo Grass	Pennywort	Babytears	Chara
Hydrilla	Slender Spikerush	Other:	

SITE: 11

Condition: Excellent Great ✓Good Poor Mixed Condition Improving



Comments:

Subsurface algal growth is creeping back toward shore. I will work on a treatment plan for upcoming visits. Any surface algae not currently decaying will also benefit from these treatments. No nuisance grass observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	<input type="checkbox"/> Turbid	<input type="checkbox"/> Tannic
<u>ALGAE:</u>	N/A	<input checked="" type="checkbox"/> Subsurface Filamentous	<input checked="" type="checkbox"/> Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Minimal	Moderate Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
Torpedo Grass	Pennywort	Babytears	Chara
Hydrilla	Slender Spikerush	Other:	

Inspection Report

SITE: 16

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

Exposed shorelines and littoral areas are routinely being treated with herbicides and pre-emergents to control nuisance grasses. No algae observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic	
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	Subsurface Filamentous	Surface Filamentous	
		Planktonic	Cyanobacteria	
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate	Substantial
<u>NUISANCE SPECIES OBSERVED:</u>				
	<input checked="" type="checkbox"/> Torpedo Grass	Pennywort	Babytears	Chara
	Hydrilla	<input checked="" type="checkbox"/> Slender Spikerush	Other:	

SITE: 17

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

Mild submersed vegetation at the water's edge. Continued treatment through the drought will clear growth before the rainy season. No algae observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic	
<u>ALGAE:</u>	<input checked="" type="checkbox"/> N/A	Subsurface Filamentous	Surface Filamentous	
		Planktonic	Cyanobacteria	
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate	Substantial
<u>NUISANCE SPECIES OBSERVED:</u>				
	Torpedo Grass	Pennywort	Babytears	Chara
	Hydrilla	Slender Spikerush	<input checked="" type="checkbox"/> Other: Pondweed	

Inspection Report

SITE: 21

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

Only that persistent dead algae is present. Otherwise the pond is in excellent condition.
No nuisance grass observed.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic
<u>ALGAE:</u>	N/A	Subsurface Filamentous	<input checked="" type="checkbox"/> Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	<input checked="" type="checkbox"/> N/A	Minimal	Moderate
			Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
	Torpedo Grass	Pennywort	Babytears
	Hydrilla	Slender Spikerush	Other:
			Chara

SITE: 24

Condition: Excellent Great Good Poor Mixed Condition Improving



Comments:

Filamentous algae and nuisance grasses are decaying from a previous treatment. Extended decay times will prolong visual improvement. Follow-ups as needed will continue in the meantime.

<u>WATER:</u>	<input checked="" type="checkbox"/> Clear	Turbid	Tannic
<u>ALGAE:</u>	N/A	Subsurface Filamentous	<input checked="" type="checkbox"/> Surface Filamentous
		Planktonic	Cyanobacteria
<u>GRASSES:</u>	N/A	<input checked="" type="checkbox"/> Minimal	Moderate
			Substantial
<u>NUISANCE SPECIES OBSERVED:</u>			
	<input checked="" type="checkbox"/> Torpedo Grass	Pennywort	Babytears
	Hydrilla	Slender Spikerush	Other:
			Chara

MANAGEMENT SUMMARY



Waterways are in a unique state right now. An historic drought combined with a hearty start to growing season are creating optimal conditions for vegetative and algal growth. Many invasive aquatic plants require very little water to thrive. Now that daily temperatures are holding in the 80's, any bit of rain is bringing rapid growth. These conditions have also begun raising water temperatures to ideal algal bloom range. Many ponds are basically large, hot puddles of standing water. With nothing to replenish ponds, full algae blooms can appear in under 72 hours and may not decay within the normal 7-10 days when treated. All technicians are running seasonal mixes for these conditions. The continued use of phosphorous abatement products in these mixes will slowly build potency in ponds and help keep rapid algal growth under control.

Drought conditions are very evident today. Most algal activity is old and previously treated. As stated before, it is taking notably longer for algae to dissipate once treated and benefits more from mechanical digestion (such as from a boat or amphibious vehicle) that continued chemical treatment. Once the rains start, these conditions will change and faster clearing will continue.

Vegetative growth is clinging to any water it can get which is currently right at the edge of the pond. The technician we typically send to treat this property mentioned this morning ways he has been changing methods and products to combat this type of growth. Other similar properties are showing good results from this and I expect it to work here as well.

A note for the treatment logs below: There is a third from April 24th, I accidentally deleted it from our system instead of downloading. All ponds treated as needed.

RECOMMENDATIONS

Continue to treat ponds for algae, administer follow-ups to ponds experiencing extended decay times.

Administer treatments to any nuisance grasses growing along exposed shorelines and within beneficial plants.

Continue to apply treatment to overgrown littoral areas.

Avoid over treating ponds, to prevent fish kills or toxic blooms.

Stay alert for debris items that find their way to the pond's shore.

Thank you for choosing Steadfast Environmental!

MAINTENANCE AREA



WATERCHASE CDD

Waterchase Blvd, Tampa

Gate Code: -





Printed: Apr 30, 2026
30435 Commerce Drive Unit 102, San Antonio, FL 33576
Phone: 844-347-0702
Fax: 813-501-1432

Daily Logs List

Apr 9, 2026

Job: SE1079 Waterchase CDD

Title:

Added By: David Smeltz

Log Notes:

Treated ponds for:(Grasses,Algae,Submerged veg.)

1,11,12,5,23,8,13,14,19,20,15

-Heavy Algae treatment pond 14

-Heavy hydrilla treatment on pond 13

-Removed branches from pond 13

Weather Conditions:

Mostly cloudy with isolated storms

Thu, Apr 9, 2026, 1:44 PM



77°F

64°F

Wind: 18 mph

Humidity: 89%

Total Precip: 0.02"

Attachments: 19





Printed: Apr 30, 2026
30435 Commerce Drive Unit 102, San Antonio, FL 33576
Phone: 844-347-0702
Fax: 813-501-1432

Daily Logs List

Apr 30, 2026

Job: SE1079 Waterchase CDD

Title:

Added By: Matt Goldrick

Log Notes:

All eight aerator heads are functioning on ponds 13 and 14

Weather Conditions:

Hazy

Thu, Apr 30, 2026, 12:52 PM



88°F

Wind: 12 mph

69°F

Humidity: 92%

Total Precip: 0"

Attachments: 0





Steadfast Alliance
 Suite 102
 San Antonio FL 33576 US

ESTIMATE

DATE **DUE** **ESTIMATE #**
 4/21/2026 5/21/2026

BILL TO
 Waterchase CDD
 2654 Cypress Ridge Blvd., Suite
 101
 Wesley Chapel FL 33544

SHIP TO
 SE1079
 Waterchase CDD
 14401 Waterchase Blvd
 Tampa FL 33626 USA

DESCRIPTION	QTY	RATE	AMOUNT
Aquatic Plantings - Installation of 11,000 Bare Root Pickerelweed (Pontederia cordata) 18" off center in a triangle pattern. 21,780 Square feet of area to be planted.	11,000.00	1.50	16,500.00

I HEREBY CERTIFY that I am the Client/Owner of record of the property which is the subject of this proposal and hereby authorize the performance of the services as described herein and agree to pay the charges resulting thereby as identified above.

TOTAL **16,500.00**

I warrant and represent that I am authorized to enter into this Agreement as Client/Owner.

Accepted this _____ day of _____, 20____.

Signature: _____

Printed Name and Title: _____

Representing (Name of Firm): _____



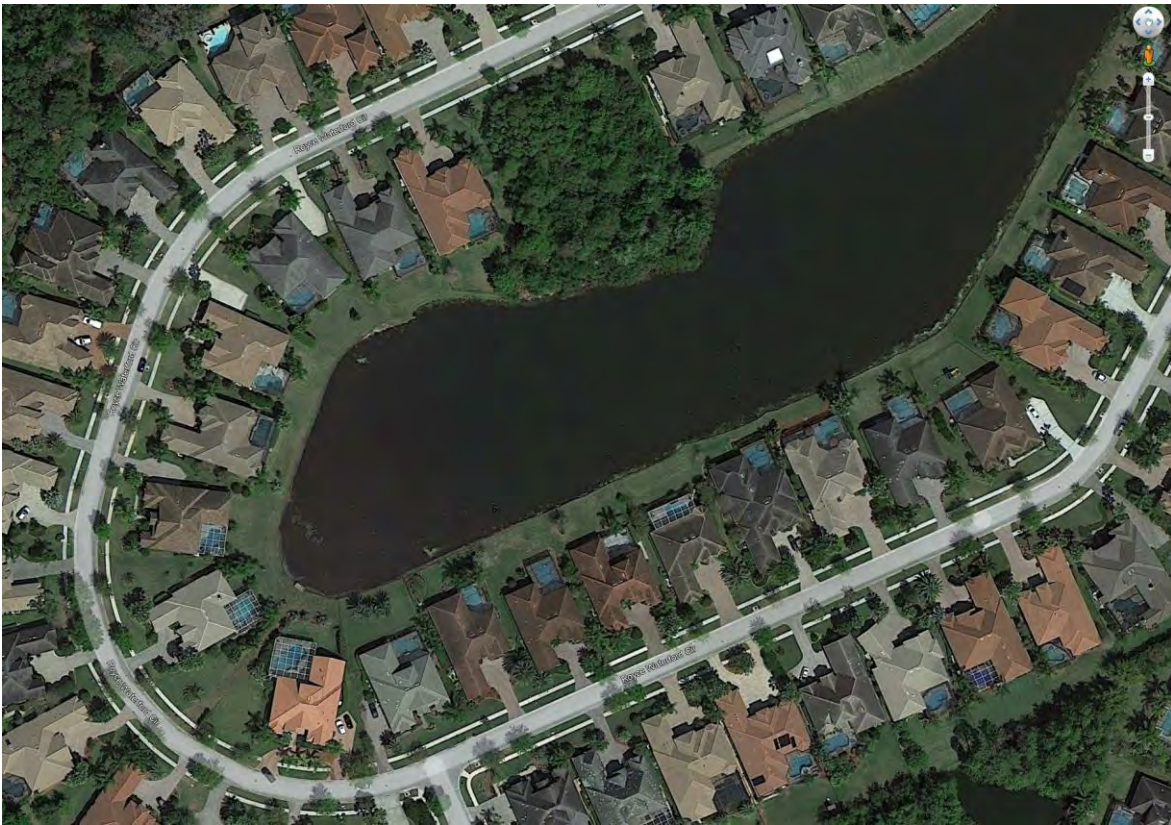
2002 Pond 13



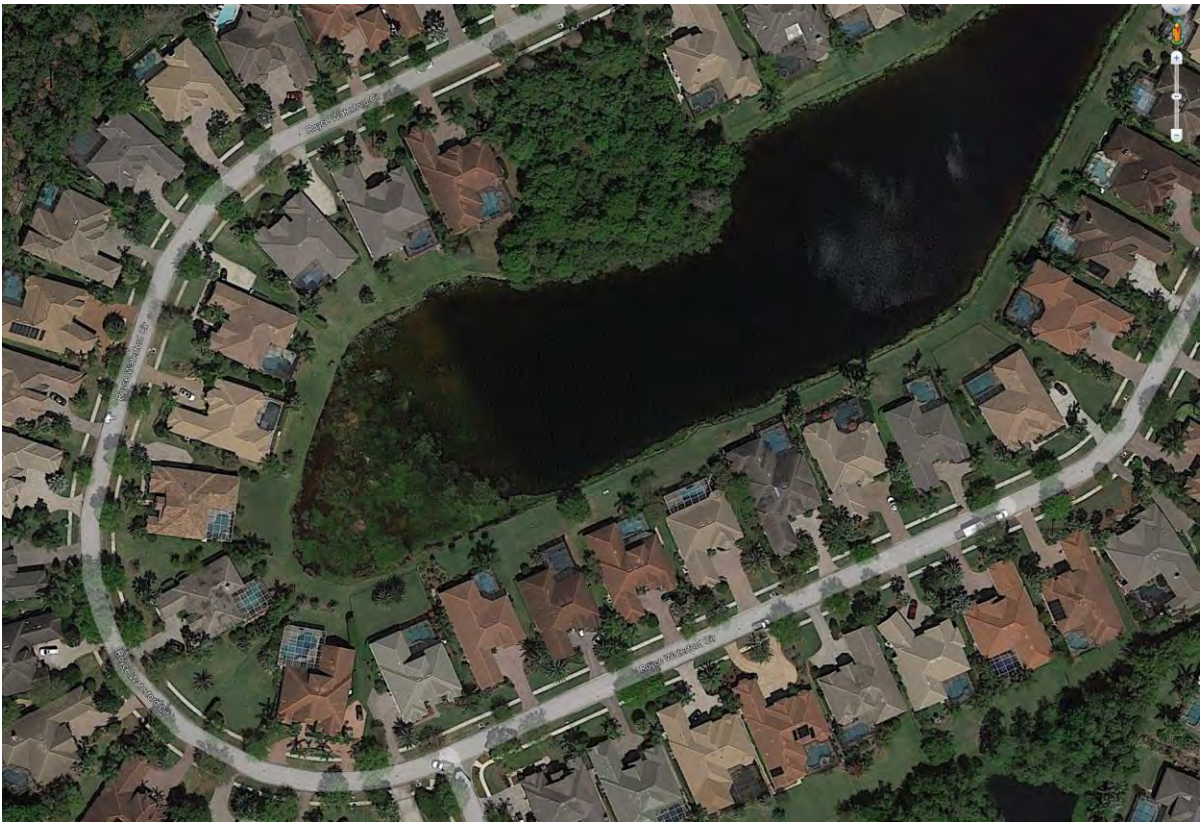
2004 Pond 13



2012 Pond 13



2013 Pond 13



2017 Pond 13



2025 Pond 13

Total Square Footage

21780

Distance Between Centers in Inches

18

Calculate

Note: Actual plants needed may vary slightly.

Square Planting Pattern



Square Planting Pattern

Plants Needed: 9604
Based on # Sq. Ft.: 21780
Plants Centered On: 18"

Triangle Planting Pattern



Triangle Planting Pattern

Plants Needed: 11018
Based on # Sq. Ft.: 21780
Plants Centered On: 18"

Plant Spacing Guide



Steadfast Alliance
 Suite 102
 San Antonio FL 33576 US

ESTIMATE

DATE **DUE** **ESTIMATE #**
 2/10/2026 3/12/2026 EST-SCA3248

BILL TO
 Waterchase CDD
 2654 Cypress Ridge Blvd., Suite
 101
 Wesley Chapel FL 33544

SHIP TO
 SE1079
 Waterchase CDD
 14401 Waterchase Blvd
 Tampa FL 33626 USA

DESCRIPTION	QTY	RATE	AMOUNT
Installation of Rail Power Supply - 15Volt for for fountain lighting 4SU DIN			
Installation of 30 AMP 6 Circuit terminal block AC/DC 600V.	1.00	885.00	885.00
NOTE- Installation of these components will deliver power to the fountain lights. At this point the technician will be able to assess the condition of the lights (light bulbs, etc) An additional proposal MAY be required if anything is found faulty at this time.			

I HEREBY CERTIFY that I am the Client/Owner of record of the property which is the subject of this proposal and hereby authorize the performance of the services as described herein and agree to pay the charges resulting thereby as identified above.

TOTAL **885.00**

I warrant and represent that I am authorized to enter into this Agreement as Client/Owner.

Accepted this _____ day of _____, 20____.

Signature: _____

Printed Name and Title: _____

Representing (Name of Firm): _____



Fuller Electrical Contractors, Inc.

Waterchase CDD
 Waterchase CDD
 11934 Royce Waterford Cir
 Tampa, FL

(407) 922-5086
 howard.neal@inframark.com

ESTIMATE	#86136
ESTIMATE DATE	Apr 2, 2026
SERVICE DATE	Mar 31, 2026
EXPIRATION DATE	May 2, 2026
TOTAL	\$890.00

SERVICE ADDRESS

14401 Waterchase Blvd
 Tampa, FL

CONTACT US

107 Dunbar Ave, Suite L
 Oldsmar, FL 34677

(813) 814-0999
 bheath@fullerelectricalinc.com

Service completed by: Brian Heath

ESTIMATE

Services	qty	unit price	amount
Water Fountain Power	1.0	\$890.00	\$890.00
-Provide and install a 4SU DIN Rail Mount 97.5W 15V 6.5A power supply and a 6 circuit 30amp rated terminal block with an in line 20 amp terminal fuse block inside the existing fountain control cabinet for fountain lighting.			
(All lighting connections provided by other)			

Notes:	1.0	\$0.00	\$0.00
--------	-----	--------	--------

Proposal pricing is reflected as project grouping. Pricing may be subject to change depending on selected items.

Credit or debit card payments over \$1,000.00 will be subject to a convenience fee of 2.7%. Credit or debit card payments \$3,000.00 and above will be subject to convenience fee of 3.6%.

All projects are backed by a one (1) year labor guarantee on workmanship, excludes product warranty.

Thank you for this opportunity to submit a proposal on this project. If you have any other questions, please feel free to contact me. Price is valid for thirty (30) days from the above date.

I have read this document, including all attachments, and accept everything in its entirety. I understand that upon signing [approval of this proposal including any and all included attachments becomes a legally binding contract.

Services subtotal: \$890.00

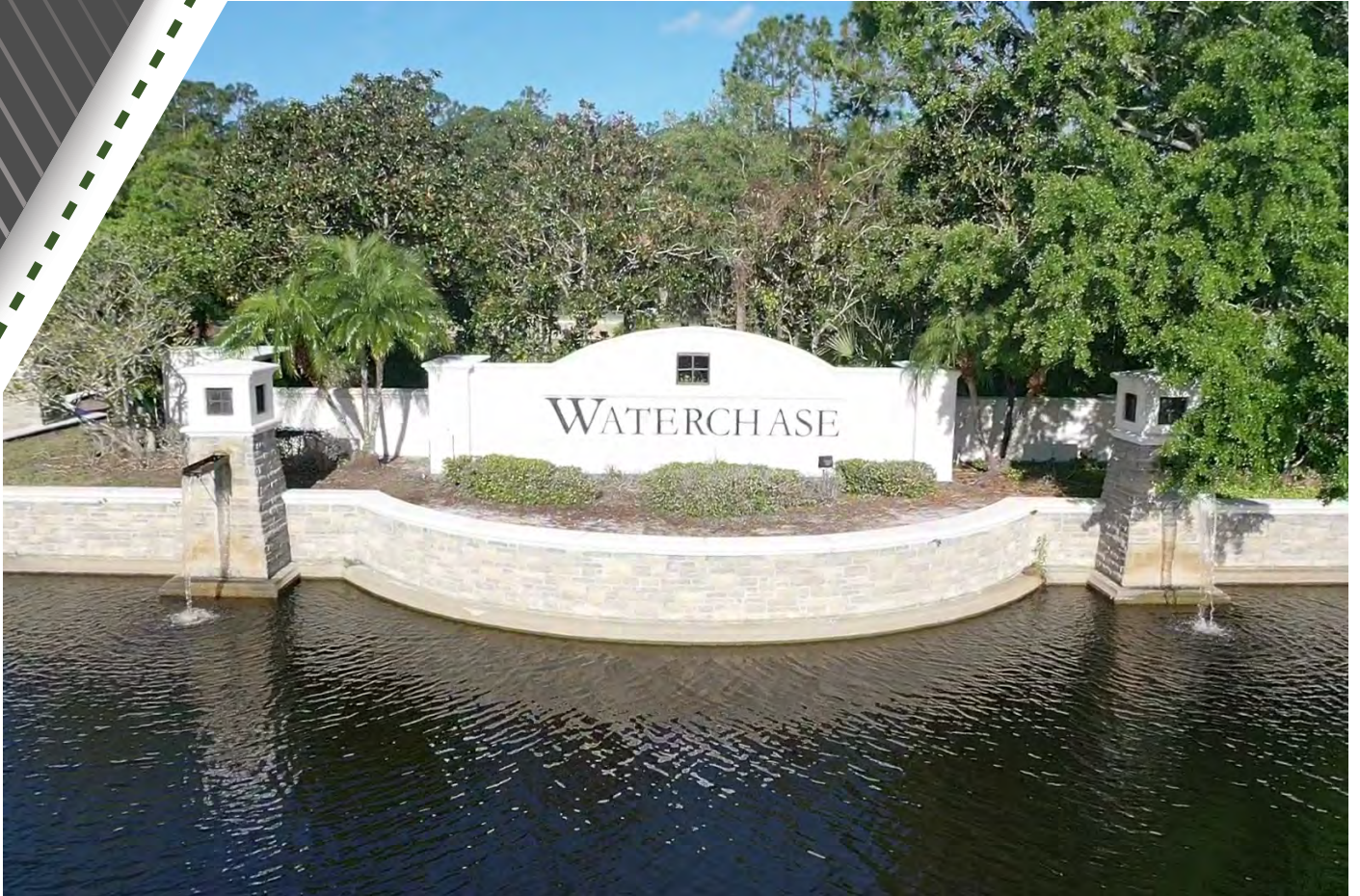
Subtotal	\$890.00
Total	\$890.00

Thank you for doing business with us.

2026

STEADFAST

ALLIANCE



INFRAMARK

Proposal for Pond Maintenance:

Waterchase

14401 Waterchase Blvd, Tampa, FL 33626



4/13/2026

Inframark

2005 Pan Am Cir Ste 300, Tampa, FL 33607

Attn: Howard Neal

We greatly appreciate the opportunity to bid on this project for you.

Attached is the agreement for waterway services at Waterchase CDD.

Program to consist of areas #1-24 (23 total) as indicated on attached map.

Area to be serviced measures 26,030 LF & 44.00 AC.

Occurrence: **2** events/month

Annual Cost: \$21,360.00

(\$1780.00 per month)

Special services can also be provided outside of the routine monthly maintenance at the Board's request.

These will be proposed on separate estimates outside of the monthly maintenance service agreement.

We pride ourselves on providing the highest level of service in the industry and look forward to the opportunity of exceeding your expectations!

Respectfully yours,

Kevin Riemensperger

Steadfast Contractors Alliance, LLC.

Kevin Riemensperger, Aquatics Division Manager

Maintenance Contract

Aquatic Maintenance Program

1. **Algaecide Application:** John Deere Gators, equipped with dual spray-tank systems and outfitted with extendable hose reel will be utilized to carry out topical & subsurface applications of algaecide approved for controlling filamentous, planktonic, & cyanobacterial algae growth in accordance with regulations defined by the Florida Department of Agriculture and Consumer Services. Technicians will utilize easements to access CDD owned property around the pond bank. Applications cover surface waters 7 feet from the shoreline and 2 feet below the surface; up to the high-water mark/edge. Treatment events will occur as listed per month, spaced evenly (pending weather) with additional services available on request.¹
2. **Herbicide Application:** Utilization of EPA approved herbicides to target invasive/emergent nuisance grasses/brush (vegetation) as defined by Florida Exotic Pest Plant Council; including category 1 & 2 species. Carried out in accordance to regulations defined by Florida Department of Agriculture and Consumer Services. Applications will cover surface waters 5 feet from the shoreline and include vegetation above the water's surface. Along shoreline areas & littoral zones; up to the high-water mark/edge. Treatment events to occur with the same frequency of algaecide applications.²
3. **Submersed Vegetation Control:** Submersed Vegetation Control: Treatments with EPA approved herbicides for the removal of submersed vegetation & otherwise undesired aquatic weeds, as defined by Florida Exotic Pest Plant Council. Including, but not limited to both non-native & nuisance species such as Tapegrass, Dwarf Babytears, Chara, etc. Applications to cover entirety of ponds equal to or lesser than 1 surface acre. In ponds greater than 1 surface acre, applications to cover waters 10 feet from shoreline areas & littoral zones, with additional treatment to be provided as a separate proposal at an additional cost.
4. **Debris Collection:** Collection of "litter" items along the shoreline, within reach or up to 1 ft below the surface, during routine maintenance visitations. Individual items to be removed are limited to non-natural materials, such as plastics, Styrofoam, paper, aluminum. Oversized items such as household appliances or large construction debris items are not included in this service; but will instead be logged and brought to the attention of the CDD board. An estimate can be provided to remove these large items on a case-by-case basis. The collection of significant/sudden or profuse influx of debris items may be subject to a mobilization fee.
5. **Pond Dye Application:** Available on request in ponds one acre or less. If so desired, applications of pond dye can be done to enhance aesthetics. Offered in black and hues of blue.
6. **Outflow Inspections:** Water Outflow / Drainage System Inspection: At the commencement of the contract, Steadfast will require notification of known drainage issues. Throughout the contract, outflow structures will be periodically inspected to insure proper drainage/functionality.*³

Enhancement Services: Not included as part of the routine maintenance scope. These services can be provided as a separate proposal at an additional cost if desired

1. **Physical & Mechanical Removals of Invasive/Exotic Vegetation.** – Utilization of crews with handheld cutting equipment to flush cut, remove and dispose of vegetation off-site. Alternative method of heavy machinery to mulch in-place vegetation within the conservation buffer zones. Buffer zones lie in between the wetland jurisdiction line and the sod of resident properties and common area.
2. **Planting of Native & Desirable, Low-lying Aquatic Vegetation** – Installation of Florida-native flora to improve aesthetics & assist in the control of aquatic algae. Bare root installation as well as container grown plants are available.
3. **Aquatic Fountain & Aeration Installation** – Installation of aquatic fountains to improve the aesthetics of ponds. Installation of bottom diffused aeration to circulate water and to increase its oxygen content to reduce algal growth, while also improving the health of a pond's fish, allowing for better insect control.
4. **Native Fish Stocking** – Stocking of Florida-native species such as Bluegill, Redear Sunfish/Shell Crackers, Gambusia will greatly impact the populations of mosquito and midge fly larvae in your waterway. Seasonal availability will affect pricing for stocking different varieties of fish.
5. **Triploid Grass Carp Stocking** – Introduction of sterile Grass Carp as a biological control of submersed aquatic plant/weed species.
6. **Excess Trash/Oversize Object Collection Visits** – Proposals to remove excess debris from heavy construction, bizarre & oversize items that may make their way into your lakes and ponds.
7. **Seasonal Midge Fly Treatments** – Applications of larvicide for the control of Midge Fly larvae. This is done twice a year to control and maintain Midge Fly populations. Most effective in summer (April-June) and fall (September-October).

*These services to be performed at Steadfast's discretion, and for the success of the aquatic maintenance program. ¹ There may be light regrowth following a treatment event. This growth will be addressed during the following treatment event, or in extreme cases by service request. ² Herbicide applications may be reduced during the rainy season/in anticipation of significant rain/wind events to avoid damaging submerged stabilizing grasses, and to prevent leaving a ring of dead grasses on the upper bank. ³ Identification of improper drainage or damaged outflow structures does not imply responsibility for repairs. Responsibility for repairs is not included in the scope of work.

Service Area



WATERCHASE CDD

Waterchase Blvd, Tampa

Gate Code: -



Agreement

The contract will run for one year starting _____. If upon expiration of this agreement, both parties have not signed a new contract, this contract shall automatically be renewed for a one-year term. Changes to contract prices shall be in writing and agreed upon by both parties.

The goal of this contract is that upon completion of each visit to the client, the aquatic appearance shall be maintained to the highest reasonable standard possible given the nature of the property and its individual condition.

Steadfast Contractors Alliance, LLC. / Steadfast Environmental, here after referred to contractor, agrees to furnish all supervision, labor, materials, supplies, and equipment to perform the work herein above. Proof of insurance and necessary licenses will be provided if requested by client. Contractor will also provide workman’s compensation and proof thereof on employees if requested by client.

The contract does not attempt to address damage caused by vandalism, floods, hurricanes, poor drainage, or other incidents beyond the control of the contractor. The contractor will endeavor to address such contingencies upon client’s request by separate agreement.

Compensation

Contractor shall be paid monthly. On the first (1st) day of the month, the Contractor shall tender to the Customer and bill or invoices for those services rendered during the current month which shall be paid by the Customer by the first day of the following month.

Conditions:

This contract is for a period of (12) twelve months. This agreement shall remain in force for a period of 1 year. If, upon expiration of this agreement, a new agreement has not been executed by both parties, this agreement shall automatically be renewed for a period of 1 year from the date of expiration of the previous term at the annual fees stated with the addition of a 3.5% cost of living increase. Either party may cancel this contract, with or without cause, with a thirty (30) day written notice by certified mail.

No Finance Charge will be imposed if the total of such purchases is paid in full within 30 days of invoice date. If not paid in full within 30 days, then a FINANCE CHARGE will be imposed from the invoice date on the balance of purchases at a periodic rate of 1 1/2 % per month (18% Annual) until paid and Steadfast Contractors Alliance, LLC. / Steadfast Environmental, LLC, DBA Steadfast, shall have the right to elect to stop work under this Contract until all outstanding amounts, including Finance Charges, are paid in full. Payments will be applied to the previously billed Finance Charges, and thereafter, in order, to the previous invoices and finally to the New Invoices. In the event, any or all the amounts due under this Agreement are collected by or through an attorney, the Purchaser/Owner agrees to pay all reasonable attorneys' fees.

Utilities Usage: The Client shall allow the Contractor usage of utilities if needed.

Fuel Surcharge: For purposes of this agreement, the standard price for (1) gallon of regular unleaded fuel shall be specified as the Florida average price per the Florida Attorney General's office. In the event that the average price is escalated over that of \$4.00 per gallon, a 3% fuel surcharge shall be added to each invoice. The 3% fuel surcharge will be suspended from all future invoices when the average gallon price drops below that of \$4.00 per gallon, however, the charge may again be implemented in the future invoices should the average gallon price again escalates over the established \$4.00 base price.

Change in Law: This Agreement is based on the laws and regulations existing at the date of execution. In the event that a governmental authority enacts laws or modifies regulations in a manner that increases the Contractor's costs associated with providing the services under this Agreement, the Contractor reserves the right to notify Client in writing of such material cost increase and to adjust pricing accordingly as of the effective date of such cost increase. Contractor must submit clear documentation supporting the cost increase and can only increase pricing to the extent of actual costs incurred.

This contract is withdrawn unless executed within ninety (90) days of the date of this document.

Thank you for the opportunity to submit this contract. We look forward to becoming part of your team.

By signing this Agreement in the space provided below, the undersigned Client signatory hereby represents and confirms that it has full power and authority to enter this Agreement on its own behalf and on behalf of the record owner of the service area, and that this Agreement is a legally binding obligation of the undersigned and the record owner of the service area.

In witness, whereof the parties to this agreement have signed and executed it this _____ day of _____ 2026.

Matt Goldrick

Steadfast Representative

Account Manager

Title

Signature of Owner or Agent

Title



Aquatic Maintenance Contract

The Contractor's performance under this Agreement shall be excused without penalty to the extent the Contractor is unable to perform due to circumstances beyond its commercially reasonable control, including but not limited to:

- Accidents, acts of God, or extreme weather conditions
- Inability to secure labor and/or materials
- Fire, earthquake, or other natural disasters
- Rules, regulations, or restrictions imposed by any governmental authority
- National or regional emergencies, epidemics, pandemics, or other health-related outbreaks not caused by either party
- Other delays or failures resulting from causes beyond the Contractor's reasonable control

For the purposes of this Agreement, the parties specifically agree that water conservation regulations or guidelines are included within the aforementioned governmental restrictions. The Contractor shall not be held liable for any failure to perform as a direct or indirect result of compliance with, or good faith efforts to comply with, state or local water regulations or mandates.

This contract shall be deemed withdrawn unless executed within ninety (90) days of the date of this document.

We appreciate the opportunity to submit this agreement and look forward to the possibility of becoming part of your team, working together to achieve exceptional results.

By signing this agreement in the space provided below, the undersigned Client signatory represents and warrants that they have full authority to enter into this agreement on their own behalf and on behalf of the record owner of the service area. The Client further acknowledges that this agreement constitutes a legally binding obligation of the undersigned and the record owner of the service area.

In witness, whereof the parties to this agreement have signed and executed it this _____ day of _____, _____.

Client

Steadfast _____

Signature of Representative

Signature of Owner or Agent

Title

Title

Billing Information

Client Business Name:		Client Contact Name:	
Client Contract Number:		Client Contact Email:	
Billing Business Name:		Billing Contact Name:	
Billing Contact Phone:		Billing Contact Address:	

Any special billing requirements or notes:



A Juniper Company

Property Evaluation Report

04/28/26

Waterchase Master POA - Maintenance

PAULA MEANS

paula.means@lmppro.com

Evaluation Grade

Waterchase Master POA - Maintenance

Flower Beds



- Overlooked flower bed was planted Monday.



- Race Track median flowers are pretty.

Waterchase Master POA - Maintenance

Turf Condition - Common Grounds

- Turf is suffering from drought. We are irrigating, but even reclaimed water has time restrictions. We will see areas that are "hot spots" that we will address as they happen. Some areas may be too dry to mow at times. Mowing dry grass can ruin a turf just as much if not more than mowing turf that is too wet.



- Turf looks good for drought conditions.



- I suggested a year and a half ago that this would be a nice area for sod. The decision was made to wait until after the Brazilian Pepper was cutback. It is cut back. The mulch isn't hurting anyone, but it would definitely look nicer.



- Hot spots are being addressed and will continue to be addressed for the next several months until the rainy season begins.



- Hotspots are being addressed.

Waterchase Master POA - Maintenance

Shrub Bed Condition - Common Ground



- Front hedge row on Race Track Rd. is nicely maintained. Irrigation was just fixed in this area two days ago. The irrigation was not functioning properly and we were going to lose the Viburnum hedge. We should see improvement in the health. However, I remind again, irrigation is merely an assistant to actual rainwater.



- I have passed this issue on to Steadfast for a proposal for drainage improvement at the dirt bridge/riprap on Meridian. Mike asked me for an estimate, but this drainage issue is an engineer issue. Steadfast is looking into it.



- HOA - The round-a-bout shrubs were cut in half for hopeful rejuvenation.

Waterchase Master POA - Maintenance

Drainage



- Nine Eagles culvert is gross. One time clean up proposal was submitted and declined.



- Nine Eagles drainage swale is clear.



- Nine Eagles other culverts area also filling up.



- Another photo of the dirt bridge drainage area. Steadfast is working on a proposal.

Waterchase Master POA - Maintenance



- Nine Eagles culvert dirty.



- Culvert areas need to be cleaned before the growth comes back again. One time clean up estimate was provided.



- Nine Eagles drainage swale still has the mentioned root in the middle of the drainage area.



- Other Nine Eagles drainage swale also clean.

Waterchase Master POA - Maintenance

Amenity Areas



- Please make sure the conservation area in the park area at the end of Tudor Chase does not encroach into the common area.



- Please clean encroaching conservation grass in park at the end of Tudor Chase.



- Park at Tudor Chase

Waterchase Master POA - Maintenance

Lake Areas / Conservation areas



- Pond 8 - good



- Careful that the pond 8 conservation area does not creep up. It looks very good right now. Thank you.



- This Brazilian Pepper pushback on Meridian was approved. NOTE.. The conservation area is maintained by the CDD, but the turf area is the home owners responsibility.



- This is the curve south of pond 16 on San Chaliford. Please make sure that the conservation area does not creep out.

Waterchase Master POA - Maintenance



- Pond 16 - good



- Pond 16



- Pond 4



- Pond 15

Waterchase Master POA - Maintenance



• Pond 22



• Pond 7



• Pond 7

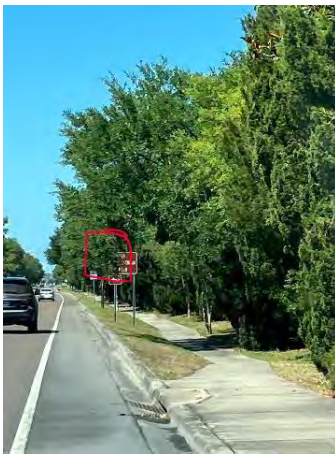
Waterchase Master POA - Maintenance

Fertilization & Pest Control



- Please spray this station inside the fence for weeds.

Trees - Common Ground



- Please clear street signs for visibility on Race Track Rd.



- Additional trimming on Race Track Rd. for sign visibility, please.

Waterchase Master POA - Maintenance



- Blueberry (minus the run over one) look good on median at Race Track Rd. Proposal to replace was denied.

Single Family Homes & Villas



- HOA - The one time clean up of the house on Bristol was completed Tuesday.



- One time completed. Board will look for a less expensive vendor for monthly upkeep.

Waterchase Master POA - Maintenance

Community Enhancements



- Nine Eagles conservation clearance seems to be good.



- Nine Eagles conservation area look good.



- Race Track Rd. overall looks good on elevations. I did see one branch hanging a little low, but most are perfect. Thank you!!!



LMP

A Juniper Company



Proposal

Proposal No.: 393922
Proposed Date: 04/07/26

PROPERTY:	FOR:
Waterchase Master POA - Maintenance David Grant 14401 Waterchase Blvd Tampa, FL 33626	Meridian Brazilian Pepper Pushback

Per the request of Inframark on CDD April Inspection #7... This area is MPOA, but requested by CDD.
 Push back Brazilian Pepper on PMOA property on East side of Meridian at bridge.

Image 7

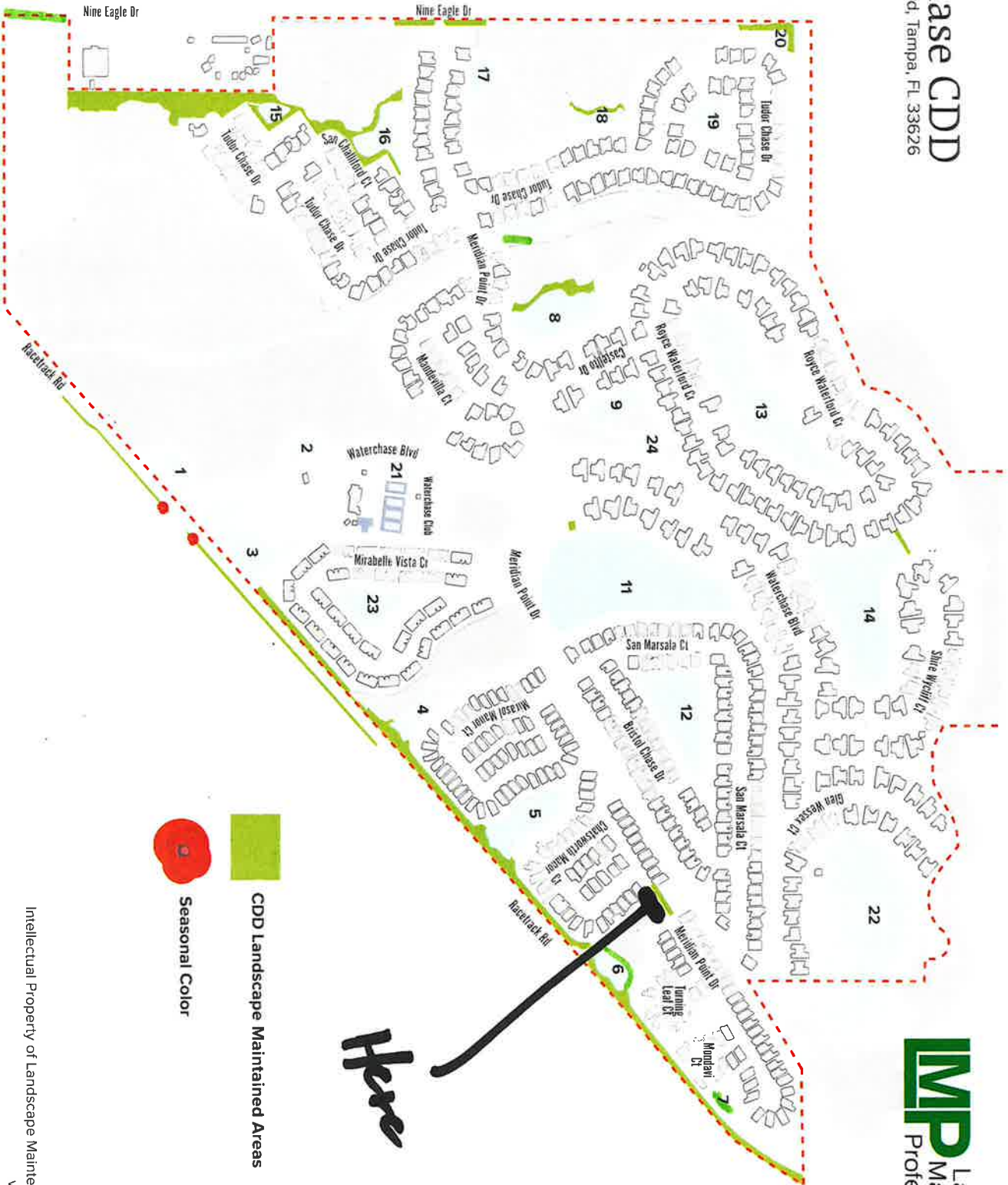
Image 8

Thank you for your request to the preservation of the landscape. Please contact us at (813) 757-6500 for more information.



ITEM	QTY	UOM	TOTAL
Meridian Bridge East			
Site Prep			\$1,215.00
Brazilian Pepper Cutback	16.00	HR	
Debris by the truck	0.50	1	
Fuel Surcharge 5.0%			\$60.75
Fuel Surcharge	1.00	EA	
Total:			\$1,275.75







Waterchase CDD

Field Inspection Report

Thursday, April 30 2026

Prepared For Board Of Supervisors

19 Items Identified

19 Items Incomplete

John Fowler

Inframark

Item 1

Assigned To: Juniper

Noting vegetation growing over the weir for pond 3. This should be cut back and clear.



Item 2

Assigned To: Maintenance

Noting exposed wires and cover missing for the power source over by pond 3. The panel indicates this is the well pump so I am uncertain if this is CDD.



Item 3

Assigned To: Steadfast

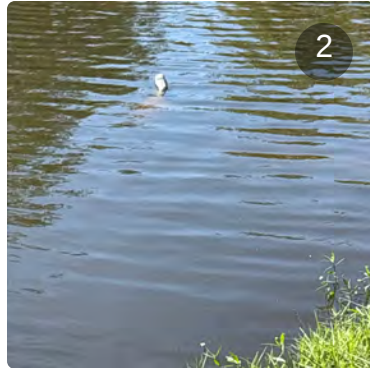
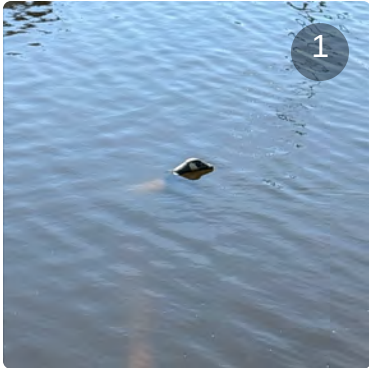
Treat grassy weeds on the edge of the water for pond 1.



Item 4

Assigned To: Steadfast

Noting the deterrent artificial goose is submerged where you can only see the head at pond 1. Need to have this floating like in pond 3. If defective, please provide a proposal for a new one.



Item 5

Assigned To: Steadfast

Broken branch lying halfway in the water on pond 2. Would suggest removing before the rainy season.



Item 6

Assigned To: District Engineer

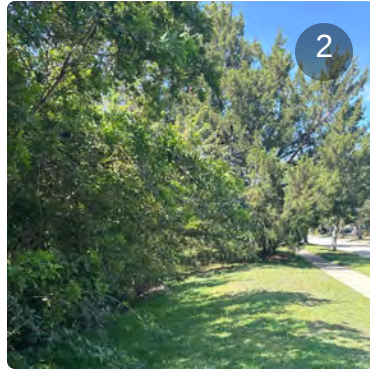
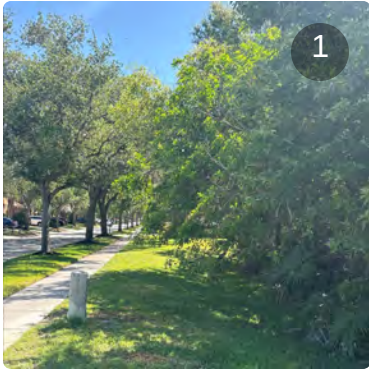
Noting a piece of concrete missing on flume for pond 23.



Item 7

Assigned To: Juniper

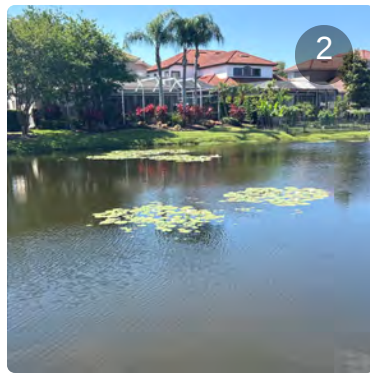
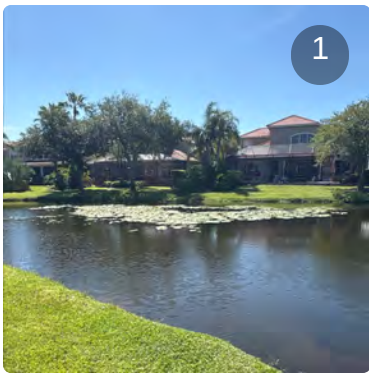
Noting Brazilian Peppers overhanging turf on Meridian Point Dr. ROW between Chatsworth Manor Cir. and Turning Leaf Ct.



Item 8

Assigned To: Steadfast

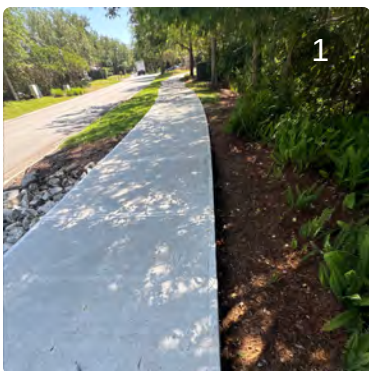
Noting Waterlily in abundance on east end of pond 12. Overall, this is a beneficial plant but may want to consider thinning out.



Item 9

Assigned To: District Engineer

Noting this area under recently renovated sidewalk on Meridian Point Dr. between San Marsala Ct. and Mirabelle Vista Cir. I believe this is on the engineering radar, but just noting it in this report.



Item 10

Assigned To: Steadfast

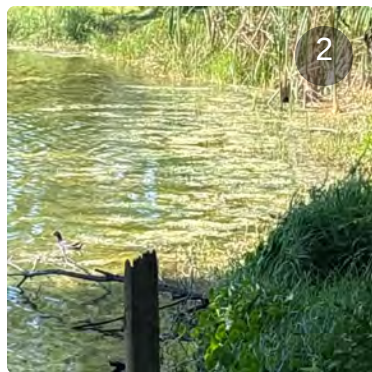
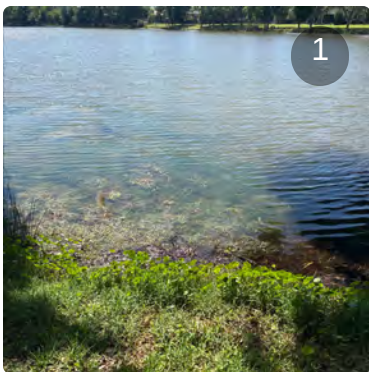
Treat grassy weeds along the waters edge of pond 11.



Item 11

Assigned To: Steadfast

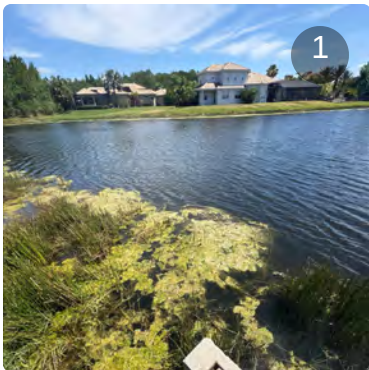
Treat submerged weeds starting to surface along the waters edge of Pond 22.



Item 12

Assigned To: Steadfast

Treatment needed for algae blooms around pond 14.



Item 13

Assigned To: Board Information

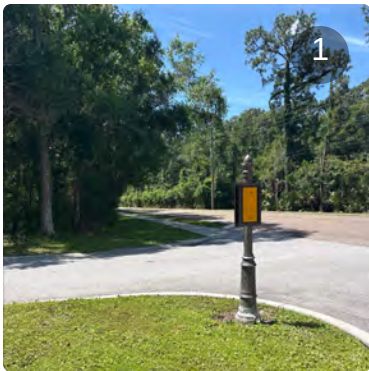
Continuing to monitor pond 20. It is approximately the same condition as the past couple inspections.



Item 14

Assigned To: Juniper/Board Information

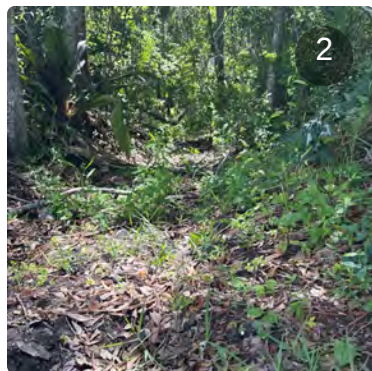
Noting my perspective from my car on Meridian Point Dr. at Nine Eagles Dr.



Item 15

Assigned To: Board Information/Juniper

Noting the tree stump that could be considered for removal on the entrance corner of Nine Eagles Dr. at Meridian Point Dr. at the end of the concrete swale.



Item 16

Assigned To: Board Information

Noting a little debris in the concrete flumes on Meridian Point Drive at Nine Eagles Dr. intersection. Should not disrupt any flow.



Item 17

Assigned To: Board Information

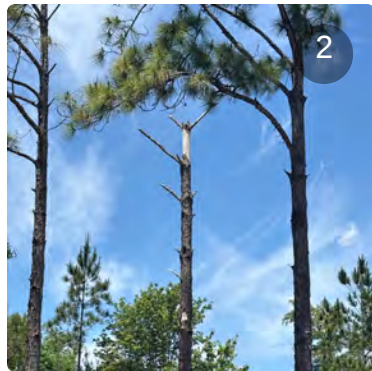
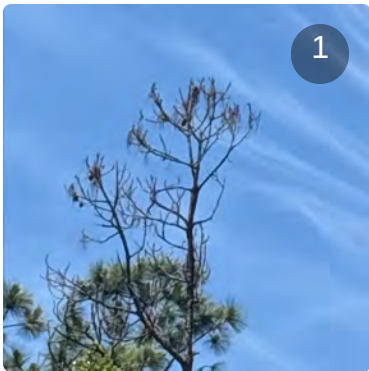
Resident request behind 11924 Royce Waterford Cir. would like a dead pine flush cut that could possibly fall toward fence and house.



Item 18

Assigned To: Juniper

Noting two dead Pines on the berm at the roundabout of San Chaliford Ct.



Item 19

Assigned To: Juniper

Raise canopies starting to block signage and remove a large downed branch on Racetrack Rd. ROW between Mobley Rd. and Fountainhead Drive.





Craig Latimer
Supervisor of Elections

Our Vision: To be the best place in America to vote

GOVERNOR'S STERLING
AWARD RECIPIENT

April 20, 2026

To whom it may concern,

As per F.S. 190.006, you'll find the number of qualified registered electors for your Community Development District as of April 15, 2026, listed below.

Community Development District	Number of Registered Electors
Waterchase CDD	1805

We ask that you respond to our office with a current list of CDD office holders by **June 1st** and that you update us throughout the year if there are changes. This will enable us to provide accurate information to potential candidates during filing and qualifying periods.

Please note it is the responsibility of each district to keep our office updated with current district information. If you have any questions, please do not hesitate to contact me at (813) 367-8829 or pthomas@votehillsborough.gov.

Respectfully,

Patricia "Patti" Thomas
Administrative Assistant/Candidate Services

L&T Brothers, Inc.
DBA Lowes Commercial Painting
"Need the pros call Lowe's"

Waterchase
14401 Waterchase Blvd.
Tampa, FL 33626
Howard Neal-howard.neal@inframark.com

April 22, 2026

Work to be done to exterior metal

1. Surface preparation-

All metal surfaces will be washed free of dirt and debris. All metal cleaned will then be inspected for rust or loose paint. All areas of rust will be scraped, sanded and spot primed as needed with **PPG rust inhibitive primer**.

2. Finish paint application-

Once primed areas dry thoroughly one coat of **Rust Oleum Hammered** finish coat will be applied. All finish paints will be applied evenly with a spray like finish assuring no brush marks or sags.

Metal surfaces included to be painted-

1. Light poles

All metal areas not mentioned in the included/optional surfaces will be excluded from the proposed work

Factory finished items will be excluded unless proposal arrangements are made

Rust is a reoccurring problem that cannot be fully corrected by painting procedures nor paint product. It is our goal in prep and application of product to retain rust the best we can. In any circumstance, there may be no warranty applied to reoccurring rusted areas.

Pinellas License # C8665 – Hillsborough License # PA2882

1

12461 Creekside Dr. Largo, Florida 33773
Phone # (727) 742-1492 / Fax # (727) 545-1076

L&T Brothers, Inc.
DBA Lowes Commercial Painting
"Need the pros call Lowe's"

Waterchase
14401 Waterchase Blvd.
Tampa, FL 33626
Howard Neal-howard.neal@inframark.com

April 22, 2026

Conditions and terms of contract:

This proposal has been offered on behalf of [Lowe's Commercial Painting](#) and will be carried out by [Lowe's Commercial Painting](#) employees. Start dates for all projects will be predetermined and finish dates will be posted prior to determined start date. Payment terms will be predetermined based on project financing.

There will be a **Two-year** labor and material guarantee against chipping, flaking, cracking, and peeling on metal due to faulty workmanship and/or materials.

This warranty applies only to the products and application procedures performed/provided by [Lowes Commercial Painting](#) and is limited based on previous conditions such as moisture levels, sun exposure, previous coating failure or excessive traffic.

Payment terms of contract:

[Lowe's Commercial Painting](#) proposes to furnish all labor, material and equipment required in meeting the above-mentioned specifications:

_____ **Main Bid-Pressure washing, prepping, priming and painting of 267 Light poles**

For the sum of \$52,065.00

Revisions to specification, scheme or scope will alter the price of the bid

Scott Angell- scott@lowescommercialpainting.com

Please reviews, initial accepted options and contact our office for the Final Contract if the job specifications mentioned above are satisfactory and acceptable. Any unsigned contract will be void after (90) days.

Pinellas License # C8665 – Hillsborough License # PA2882

2

12461 Creekside Dr. Largo, Florida 33773
Phone # (727) 742-1492 / Fax # (727) 545-1076

L&T Brothers, Inc.
DBA Lowes Commercial Painting
"Need the pros call Lowe's"



Hammered finish

Pinellas License # C8665 – Hillsborough License # PA2882

3

12461 Creekside Dr. Largo, Florida 33773
Phone # (727) 742-1492 / Fax # (727) 545-1076



2002 West Grand Parkway North | Suite 100 | Katy, Texas
 77449
 6562473501 | nmontagna@inframark.com |
 www.inframark.com/maintenance

RECIPIENT:

Howard Neal

Waterchase CDD
 14401 Waterchase Blvd
 Tampa, Florida 33626

Estimate #303	
Sent on	Apr 16, 2026
Total	\$53,994.30

This project encompasses the comprehensive surface preparation and refinishing of existing light poles and decorative street signs, aimed at restoring their appearance while ensuring long-term protection against corrosion and environmental degradation.

****Scope of Work:****

1. Conduct pressure washing of the light pole to eliminate dirt, debris, mildew, and loose contaminants.
2. Mechanically sand all accessible surfaces to remove peeling paint, rust, and surface imperfections, thereby creating a smooth and adequately profiled substrate for optimal coating adhesion.
3. Spot-treat or fully prime all bare metal and exposed areas utilizing a high-quality, corrosion-resistant primer that is suitable for exterior metal surfaces.
4. Apply two (2) coats of premium exterior-grade paint, ensuring even application to achieve full coverage, uniform color, and a durable finish.
5. Safeguard surrounding areas from overspray and debris throughout all phases of work.
6. Perform a final inspection to verify proper adhesion, coverage, and overall finish quality.

****Result:****

The completed work will deliver a clean, uniform appearance and enhance the service life of the light pole through meticulous surface preparation and the application of protective coatings.

All Painting will be done with RUST-OLEUM HAMMERED BROWN FINISH per previous work done

Warranty- two-year workmanship on all work preformed.

Product/Service	Description	Qty.	Unit Price	Total
				Optional
Standard streetlights		214	\$168.00	\$35,952.00
				Optional
Dual Head Streetlights		25	\$212.80	\$5,320.00
				Optional
Decorative street post		82	\$155.15	\$12,722.30
			Total	\$53,994.30



2002 West Grand Parkway North | Suite 100 | Katy, Texas
77449
6562473501 | nmontagna@inframark.com |
www.inframark.com/maintenance

Unforeseen Conditions

Inframark is not responsible for hidden or unforeseen conditions including but not limited to structural defects, underground utilities, electrical issues, plumbing lines, soil problems, code violations, or concealed damage discovered during construction. This quote is valid for the next 30 days, after which values may be subject to change.

RESOLUTION 2026-04

A RESOLUTION DESIGNATING HOWARD NEAL AS ASSISTANT SECRETARY OF WATERCHASE COMMUNITY DEVELOPMENT DISTRICT

WHEREAS, the Board of Supervisors of the Waterchase Community Development District desires to appoint Howard Neal as Assistant Secretary;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE WATERCHASE COMMUNITY DEVELOPMENT DISTRICT:

1. Howard Neal is appointed Assistant Secretary.

Adopted this 11th day of May, 2026.

Chairman/Vice Chairman

Secretary/Assistant Secretary

RESOLUTION 2026-05

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE WATERCHASE COMMUNITY DEVELOPMENT DISTRICT APPROVING A PROPOSED OPERATION AND MAINTENANCE BUDGET FOR FISCAL YEAR 2026/2027; SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW; ADDRESSING TRANSMITTAL, POSTING, AND PUBLICATION REQUIREMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager prepared and submitted to the Board of Supervisors (“**Board**”) of the Waterchase Community Development District (“**District**”) prior to June 15, 2026, a proposed operation and maintenance budget for the fiscal year beginning October 1, 2026, and ending September 30, 2027 (“**Proposed Budget**”); and

WHEREAS, the Board has considered the Proposed Budget and desires to approve the Proposed Budget and set the required public hearing thereon.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF THE DISTRICT:

- 1. Proposed Budget Approved.** The Proposed Budget, including any modifications made by the Board, attached hereto as **Exhibit A** is hereby approved as the basis for conducting a public hearing to adopt said Proposed Budget.
- 2. Setting a Public Hearing.** The public hearing on said Proposed Budget is hereby declared and set for Monday, August 10, 2026, at 6:00pm at Waterchase Clubhouse, 14401 Waterchase Boulevard, Tampa, Florida 33626.
- 3. Transmittal of Proposed Budget to Local General Purpose Government.** The District Manager is hereby directed to submit a copy of the Proposed Budget to Hillsborough County at least 60 days prior to the hearing set above.
- 4. Posting of Proposed Budget.** In accordance with Section 189.016, Florida Statutes, the District’s Secretary is further directed to post the Proposed Budget on the District’s website at least 2 days before the budget hearing date and shall remain on the website for at least 45 days.
- 5. Publication of Notice.** Notice of this public hearing shall be published in the manner prescribed by Florida law.
- 6. Effective Date.** This Resolution shall take effect immediately upon adoption.

Passed and Adopted on May 11, 2026.

Attest:

**Waterchase Community
Development District**

Print Name: _____
Secretary/Assistant Secretary

Print Name: _____
Chair/Vice Chair of the Board of Supervisors

Exhibit A: Proposed Budget for Fiscal Year 2026/2027



LLS Tax Solutions Inc.
1645 Sun City Center Plz,
#5027
Sun City Center, FL 33571
Telephone: 850-754-0311
Email: liscott@llstax.com

February 12, 2026

Waterchase Community Development District
c/o Inframark Infrastructure Management Services
5645 Coral Ridge Dr, #407
Coral Springs, Florida 33076

Thank you for choosing LLS Tax Solutions Inc. (“LLS Tax”) to provide arbitrage services to Waterchase Community Development District (“Client”) for the following bond issue. This Engagement Letter describes the scope of the LLS Tax services, the respective responsibilities of LLS Tax and Client relating to this engagement and the fees LLS Tax expects to charge.

- \$8,129,000 Waterchase Community Development District (Hillsborough County, Florida) Capital Improvement Revenue Refunding Bonds, Series 2017

SCOPE OF SERVICES

The procedures that we will perform are as follows:

- Assist in calculation of the bond yield, unless previously computed and provided to us.
- Assist in determination of the amount, if any, of required rebate to the federal government.
- Issuance of a report presenting the cumulative results since the issue date of the issue of bonds.
- Preparation of necessary reports and Internal Revenue Service (“IRS”) forms to accompany any required payment to the federal government.

As a part of our engagement, we will read certain documents associated with each issue of bonds for which services are being rendered. We will determine gross proceeds of each issue of bonds based on the information provided in such bond documents. You will have sole responsibility for determining any other amounts not discussed in those documents that may constitute gross proceeds of each series of bonds for the purposes of the arbitrage requirements.

TAX POSITIONS AND REPORTABLE TRANSACTIONS

Because the tax law is not always clear, we will use our professional judgment in resolving questions affecting the arbitrage calculations. Unless you instruct us otherwise, we will take the reporting position most favorable to you whenever reasonable. Any of your bond issues may be selected for review by the IRS, which may not agree with our positions. Any proposed adjustments are subject to certain rights of appeal. Because of the lack of clarity in the law, we cannot provide assurances that the positions asserted by the IRS may not ultimately be sustained, which could result in the assessment of potential penalties. You have the ultimate responsibility for your compliance with the arbitrage laws; therefore, you should review the calculations carefully.

The IRS and some states have promulgated “tax shelter” rules that require taxpayers to disclose their participation in “reportable transactions” by attaching a disclosure form to their federal and/or state income tax returns and, when necessary, by filing a copy with the Internal Revenue Service and/or the applicable state agency. These rules impose significant requirements to disclose transactions and such disclosures may encompass many transactions entered into in the normal course of business. Failure to make such disclosures will result in substantial penalties. In addition, an excise tax is imposed on exempt organizations (including state and local governments) that are a party to prohibited tax shelter transactions (which are defined using the reportable transaction rules). Client is responsible for ensuring that it has properly disclosed all “reportable transactions” and, where applicable, complied with the excise tax provision. The LLS Tax services that are the subject of this Engagement Letter do not include any undertaking by LLS Tax to identify any reportable transactions that have not been the subject of a prior consultation between LLS Tax and Client. Such services, if desired by Client, will be the subject of a separate engagement letter. LLS Tax may also be required to report to the IRS or certain state tax authorities certain tax services or transactions as well as Client’s participation therein. The determination of whether, when and to what extent LLS Tax complies with its federal or state “tax shelter” reporting requirements will be made exclusively by LLS Tax. LLS Tax will not be liable for any penalties resulting from Client’s failure to accurately and timely file any required disclosure or pay any related excise tax nor will LLS Tax be held responsible for any consequences of its own compliance with its reporting obligations. Please note that any disclosure required by or made pursuant to the tax shelter rules is separate and distinct from any other disclosure that Client might be required to or choose to make with its tax returns (e.g., disclosure on federal Form 8275 or similar state disclosure).

PROFESSIONAL FEES AND EXPENSES

Our professional fees for the services listed above for the three-year calculation period beginning October 26, 2024, through the period ending October 25, 2027, is \$1,500, which is \$500 for each year. We will bill you upon completion of our services. Our invoices are payable upon receipt. Additionally, you may request additional consulting services from us upon occasion; we will bill you for these consulting services at a beforehand agreed upon rate.

Unanticipated factors that could increase our fees beyond the estimate given above include the following (without limitation). Should any of these factors arise we will alert you before additional fees are incurred.

- Investment data provided by you is not in good order or is unusually voluminous.
- Proceeds of bonds have been commingled with amounts not considered gross proceeds of the bonds (if that circumstance has not previously been communicated to us).
- A review or other inquiry by the IRS with respect to an issue of bonds.

ACCEPTANCE

You understand that the arbitrage services, report and IRS forms described above are solely to assist you in meeting your requirements for federal income tax compliance purposes. This Engagement Letter constitutes the entire agreement between Client and LLS Tax with respect to this engagement, supersedes all other oral and written representations, understandings or agreements relating to this engagement, and may not be amended except by the mutual written agreement of the Client and LLS Tax.

Please indicate your acceptance of this agreement by signing in the space provided below and returning a copy of this Engagement Letter to us. Thank you again for this opportunity to work with you.

Very truly yours,
LLS Tax Solutions Inc.

AGREED AND ACCEPTED:
Waterchase Community Development District

By: Linda L. Scott
Linda L. Scott, CPA

By: _____
Print Name _____
Title _____
Date: _____

**MINUTES OF MEETING
WATERCHASE
COMMUNITY DEVELOPMENT DISTRICT**

1 The regular meeting of the Board of Supervisors of the Waterchase Community Development
2 District was held on April 13, 2026, at 6:02 p.m. at the Waterchase Clubhouse, 14401 Waterchase
3 Boulevard, Tampa, Florida.

4
5 Present and constituting a quorum were:

6		
7	Ian Watson	Chairperson (<i>via Teams</i>)
8	Salvatore Mancini	Vice Chairperson
9	Michael Acheson	Assistant Secretary (<i>via Teams</i>)
10	G. Arnie Daniels	Assistant Secretary
11	Chris Rizzo	Assistant Secretary
12		

13 Also present, either in person or via communication media technology, were:

14	Howard Neal	District Manager, Inframark
15	Mark Vega	District Manager, Inframark (<i>via Teams</i>)
16	Whitney Sousa	District Counsel, Straley & Robin (<i>via Teams</i>)
17		
18	Tonja Stewart	District Engineer, Stantec (<i>via Teams</i>)
19	John Fowler	Field Services, Inframark
20	Joe Hamilton	Aquatics, Steadfast
21	Paula Means	Landscape, LMP
22	Nathaniel Montagna	Maintenance Supervisor, Inframark (<i>via Teams</i>)
23		
24	Victor	HOA President
25	Residents and Members of the Public	
26		

27 *This is not a certified or verbatim transcript but rather represents the context and summary of*
28 *the meeting. The full meeting is available in audio format upon request. Contact the District*
29 *Office for any related costs for an audio copy.*

30
31 **FIRST ORDER OF BUSINESS** **Call to Order and Roll Call**

32 Mr. Neal called the meeting to order, and a quorum was established.

33
34 **SECOND ORDER OF BUSINESS** **Audience Comments**

35 There being no comments from the audience, the Board continued with the next order of
36 business.

37
38 **THIRD ORDER OF BUSINESS** **Staff Reports**

39 **A. District Accountant Report**

Waterchase CDD
April 13, 2026

40 District Accountant was not present.

41 **i. Discussion of the FY 2027 Budget**

42 Mr. Neal discussed the upcoming FY 2027 budget and advised that the proposed budget would
43 be approved at the May 11, 2026, meeting. The final budget will be adopted at the August 10,
44 2026, meeting.

45 Mr. Mancini discussed receiving the budget for Board discussion at their upcoming April 23,
46 2026, workshop. The Board would then provide Mr. Neal with any changes that were needed
47 before approving of the proposed budget.

48 Mr. Neal inquired about major projects that the Board wanted or was aware of that needed to
49 be completed.

50 Ms. Stewart discussed the need to make room in the budget for outstanding or upcoming
51 projects. She advised that there is always a need to do projects and they can work with what is
52 allocated within the budget. Ms. Stewart will provide some potential projects and their projected
53 cost for the budget.

54 Mr. Hamilton mentioned one project that needed to be addressed was a 10-15 foot clean out.
55 He will provide the Board with information regarding cost prior to April 23, 2026, workshop for
56 review.

57 Mr. Watson stated that small landscaping projects including irrigation could also be included
58 in the budget.

59 Miscellaneous contingency was another line item that was discussed regarding added funds to
60 this account.

61 It was discussed that the Board would set the high-water mark at the May 11, 2026, meeting
62 and would be able to go down from that point in the final budget.

63 A project list will be provided for the April 23, 2026, workshop.

64 Mr. Neal advised that the SchoolNow website administrative contract has an increase of 3%,
65 which is the first increase since the beginning of the contract with the District.

66 There was discussion regarding receiving the numbers from the HOA for the CDD's portion
67 of landscaping cost. Victor, the HOA President, will provide this information by Wednesday.

68
69
70

71 **B. Landscape Report**

72 Ms. Means provided the Board a summary of the landscaping projects. Discussion ensued regarding
73 culvert cleaning.

74 Ms. Stewart advised that these areas and systems should remove sediment and she wants to wait and
75 observe the systems functioning before processing with any action. Culvert discussion continued. Ms.
76 Stewart will go out and inspect the areas of concern.

77 Ms. Means advised that there is a stump in the way of the culvert and both Steadfast and LMP will go
78 inspect the area and provide proposals.

79

80 **i. Consideration of LMP Nine Eagles Push Back Proposal #389493**

81 Ms. Means provided context on this proposal.

82 Mr. Daniels wants the vegetation pushed back to increase visibility. Discussion ensued over the
83 visibility in the area.

84 Mr. Rizzo raised concerns regarding the possibility of this being in the contract.

85 Proposal was tabled pending further review.

86

87 **ii. Consideration of LMP One-time Clean-Up of Culverts and Swails**
88 **Proposal #389488**

89 Ms. Stewart will review the area and provide an update as previously discussed.

90 Proposal tabled pending Ms. Stewart's update of the area.

91

92 **iii. Consideration of LMP Valve Box Replacement Proposal #388982**

93 Ms. Means explained that this proposal pertains to the median on Race Track.

94

95

96

97

On MOTION by Mr. Mancini, seconded by Mr. Daniels, with all in favor, motion to approve the LMP Valve Box Replacement Proposal #388982 in the amount of \$463.48 carried. 5-0

98 **iv. Consideration of LMP Main Line Extension Proposal #388954**

99 The Board tabled this proposal.

100 Mr. Rizzo requested that LMP provide a map with all proposals indicating the area where work is
101 being proposed. Discussion on work outside the CDD property ensued.

102 Ms. Sousa advised not to maintain anything that is not on CDD property.

103 Discussion ensued regarding replacement of blueberry tree proposal. Ms. Means will forward this
104 proposal to Mr. Neal for the Board to review in a later meeting.

105

106 **v. Consideration of LMP Irrigation Repairs Proposal #390633**

107 The Board tabled this proposal.

108

109 **vi. Consideration of LMP Irrigation Repairs Proposal #390640 .**

110 The Board tabled this proposal.

111

112 **C. Pond Report**

113 Mr. Hamilton provided the Board with a summary of his report and advised that the heat wave will
114 continue throughout the upcoming week.

115 The diffuser head is down that supports the shared system for Ponds 13 and 14.

116 Information was provided for consideration to be entered into the upcoming budget.

117 Mr. Hamilton to provide proposals to Mr. Neal for the Board to review during the budget workshop.

118 Mr. Hamilton provided insight on the budget and talked about a 3% increase in aquatics cost, which is
119 generally good to include. He also talked about the fuel surcharge which they have not done but with gas
120 over \$4.00, could be a possibility.

121 Ms. Sousa provided information and clarification on fuel surcharges.

122 Mr. Hamilton discussed Pond 13 which a resident asked about it. The littoral shelf was also
123 discussed.

124 Ms. Stewart asked Mr. Hamilton about water levels. Mr. Hamilton responded that things look
125 healthy.

126 Mr. Neal returned the discussion to the proposal for the Blueberry Tree replacement after receiving
127 the proposal from Ms. Means.

128 Proposal No.: 390215 Japanese blueberry replacement was reviewed by the Board in the amount of
129 \$743.70.

130 Discussion ensued.

131 The Board tabled this proposal.

132 Discussion ensued regarding putting sod on top instead of doing the replacement tree. Ms. Means will
133 get the stump flush cut and lay sod over it.

134

135

136

137 **D. District Engineer**

138 Ms. Stewart discussed the upcoming budget and suggested putting some money aside that the Board
139 can afford to work on projects that arise during the upcoming year.

140 Ms. Stewart had someone inspected the retaining walls on CDD property, and she has confirmed
141 where all the retaining walls are within the CDD. In some areas they were installed to reduce impact to
142 wetland areas. A maintenance plan for these retaining walls should be made. First, an assessment is
143 needed for the retaining walls. The Board should set aside funds to assess the situation for the 2027
144 budget. There are some walls that go in and out of private property.

145 Mr. Daniels asked about what the assessment would cost.

146 Ms. Stewart has been speaking with ACP as they were involved with the development. She will get a
147 proposal from ACP for an assessment of the retaining walls.

148

149 **E. District Counsel**

150 Ms. Sousa advised the Board about Senate Bill 180 - Petition from residents to remove a CDD
151 Supervisor from their seat.

152 A letter was sent to Philippine Cultural Center, pertaining to encroachment on District property.

153 Mr. Daniels requested Mr. Fowler go inspect the area around the Philippine Cultural Center to make
154 sure no dumping on CDD property is taking place following any event held at that location.

155

156 **F. Field Inspection Report**

157 Mr. Fowler spoke about line item 11 on his report and correction of verbiage. He advised there is a
158 chain link fence being installed by Philippine Cultural Center.

159 A resident has concerns regarding the tree near Pond 4 and who is responsible for the care of the tree.
160 Discussion ensued regarding the tree being the resident's responsibility.

161

162 **G. District Manager**

163 Mr. Rizzo asked a resident what she needed when she arrived during the meeting. She responded that
164 there are Macho Ferns on her property, and she was referred by her HOA to the CDD. She is in the town
165 homes.

166 Mr. Watson advised the resident they can remove all the ferns from her property. Discussion ensued.
167 The resident expressed concerns over property lines with the CDD. Mr. Fowler will get in touch with the
168 HOA President to go inspect the area and reach a solution.

Waterchase CDD
April 13, 2026

169 Mr. Neal announced the CDD Workshop is scheduled for Thursday, April 23, 2026, at 6:00 p.m. and
170 is a joint HOA / CDD workshop. The next regular Board meeting is scheduled for Monday, May 11,
171 2026, at 6:00 p.m.

172 The Board provided feedback over the level of service from District Management.

173 Mr. Neal requested 60 days to improve the quality of services provided by District Management.

174 **i. Discussion of Light Pole Painting Project**

175 **a. L&T Brother Inc. October 2018 Contract - Rust-Oleum Hammered Brown**
176 **Revised 19**

177 Mr. Neal spoke about getting Lowe's to do a sample on the entire pole.

178 Mr. Rizzo requested they do the sample right next to the other one.

179 Inframark's light pole proposal was discussed by Mr. Montagna. Mr. Neal provided the Board with a
180 proposal USC.

181 Lowe's Commercial Painting will do a sample next to the sample Inframark did and provide a
182 proposal for the Board's review. The location of the current sample will be provided to Lowe's
183 Commercial Painting.

184

185 **ii. Discussion of Allowing Catch and Release Fishing in CDD Ponds**

186 Mr. Victor asked the Board to consider allowing catch and release fishing on CDD ponds.
187 Discussion ensued regarding this topic.

188 Mr. Rizzo voiced concerns regarding liability issues. Discussion ensued regarding any
189 liability for the CDD if this was permitted. The Board is unsure about this issue.

190 Mr. Victor inquired about having it be just the big lake that would allow catch and release
191 fishing.

192 Mr. Acheson provided context on how this came about from a resident around 2002.

193 Mr. Daniels requested Mr. Neal contact Ms. Sousa, Ms. Stewart and Mr. Hamilton to provide
194 their input on the subject and report back to the Board.

195 **FOURTH ORDER OF BUSINESS** **Business Items**

196 **A. Acceptance of FY 2025 Final Audit Report**

197 Mr. Neal advised that the Audit is complete two months prior to the state deadline. The Audit is clean
198 with ZERO Current or Prior Findings on Page 90. On Page 90 item III 5, it shows that the District has not
199 met one or more of the financial emergency conditions in Florida Statute 218.503 which is a positive
200 statement meaning the District is not in financial emergency and is funded in a positive manner.

On MOTION by Mr. Mancini, seconded by Mr. Rizzo, with all in favor, motion to accept the FY 2025 Audit carried. 5-0

B. Consideration of Fuller Electrical Contractors Water Fountain Power Proposal #86136

Mr. Hamilton has a proposal from Steadfast that was in the last agenda, which was pulled up for the Board to review.

The Board requested Mr. Hamilton to provide an updated proposal.

FIFTH ORDER OF BUSINESS Business Administration

Mr. Mancini provided a review of his thoughts on how everything is progressing financially with the Board.

- A. Consideration of Minutes from the Meeting held March 9, 2026**
- B. Review of Financial Statement for the Month of February 2026**
- C. Approval of February 2026 Check Register**

On MOTION by Mr. Mancini, seconded by Mr. Rizzo, with all in favor, motion to accept the regular meeting minutes for March 9, 2026, February 2026 financial statements and the February 2026 check register carried. 5-0

SIXTH ORDER OF BUSINESS Supervisors' Requests

Mr. Rizzo spoke on the Management issues that were discussed during the meeting.

Mr. Mancini spoke on the Management issues that were discussed during the meeting and inquired regarding the status of the W2 issue and having 1099 for first two months of the year. What's the history here.

Mr. Daniels wants information on the W2, 1099 pay issue and also inquired what the status was regarding this issue.

Mr. Rizzo commented that he had received his March payment.

234 SEVENTH ORDER OF BUSINESS

Adjournment

235

On MOTION by Mr. Daniels, seconded by Mr. Watson, with all in favor,
the meeting was adjourned at 8:16 p.m. 5-0

236

237

238

239

240

241

242

Ian Watson

Chairperson

*Waterchase
Community
Development
District*

Financial Report

March 31, 2026

CLEAR PARTNERSHIPS



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WATERCHASE
Community Development District

Financial Statements

(Unaudited)

March 31, 2026

Balance Sheet
March 31, 2026

ACCOUNT DESCRIPTION	GENERAL FUND	SERIES 2017 DEBT SERVICE FUND	TOTAL
<u>ASSETS</u>			
Cash - Checking Account	\$ 881,258	\$ -	\$ 881,258
Cash with Fiscal Agent	-	22,931	22,931
Accounts Receivable	31	-	31
Investments:			
Money Market Account	168,170	-	168,170
Reserve Fund	-	67,816	67,816
Revenue Fund	-	951,223	951,223
Prepaid Items	8,330	-	8,330
Utility Deposits - TECO	2,724	-	2,724
TOTAL ASSETS	\$ 1,060,513	\$ 1,041,970	\$ 2,102,483
<u>LIABILITIES</u>			
Accounts Payable	\$ 9,806	\$ -	\$ 9,806
Accrued Expenses	6,880	-	6,880
TOTAL LIABILITIES	16,686	-	16,686
<u>FUND BALANCES</u>			
Nonspendable:			
Prepaid Items	8,330	-	8,330
Deposits	2,724	-	2,724
Restricted for:			
Debt Service	-	1,041,970	1,041,970
Assigned to:			
Operating Reserves	99,778	-	99,778
Reserves-Aeration & Fountains	75,000	-	75,000
Reserves- Lake Embank/Drainage	557,582	-	557,582
Reserves - Tree Removal & Replacement	55,000	-	55,000
Reserves - Streetlights	75,000	-	75,000
Unassigned:	170,413	-	170,413
TOTAL FUND BALANCES	\$ 1,043,827	\$ 1,041,970	\$ 2,085,797
TOTAL LIABILITIES & FUND BALANCES	\$ 1,060,513	\$ 1,041,970	\$ 2,102,483

Statement of Revenues, Expenditures and Changes in Fund Balances
For the Period Ending March 31, 2026

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
REVENUES				
Interest - Investments	\$ 20,000	\$ 10,000	\$ 19,746	\$ 9,746
Interest - Tax Collector	-	-	881	881
Special Assmnts- Tax Collector	394,867	394,867	372,321	(22,546)
Special Assmnts- Discounts	(15,795)	(15,795)	(14,491)	1,304
TOTAL REVENUES	399,072	389,072	378,457	(10,615)
EXPENDITURES				
Administration				
P/R-Board of Supervisors	24,000	12,000	11,630	370
FICA Taxes	1,836	918	536	382
ProfServ-Arbitrage Rebate	600	600	3,150	(2,550)
ProfServ-Dissemination Agent	1,000	1,000	-	1,000
ProfServ-Engineering	20,000	10,000	11,684	(1,684)
ProfServ-Legal Services	9,000	4,500	4,506	(6)
ProfServ-Mgmt Consulting	66,985	33,492	33,492	-
ProfServ-Special Assessment	9,000	9,000	9,000	-
ProfServ-Trustee Fees	4,337	4,337	4,337	-
ProfServ-Web Site Development	1,076	538	-	538
Auditing Services	5,600	5,600	3,600	2,000
Website Compliance	2,500	2,500	2,766	(266)
Postage and Freight	350	175	22	153
Insurance - General Liability	7,960	7,960	7,337	623
Legal Advertising	2,500	1,250	-	1,250
Misc-Bank Charges	50	25	468	(443)
Misc-Assessment Collection Cost	7,897	7,897	7,157	740
Annual District Filing Fee	175	175	175	-
Total Administration	164,866	101,967	99,860	2,107
Field				
Field Services	8,000	4,000	4,000	-
Contracts-Wetland Mitigation	12,000	6,000	-	6,000
Contracts-Lakes	21,440	10,720	10,320	400
Contracts-Canal Maint/Cleaning	10,000	5,000	-	5,000
Contracts-Aquatic Midge Mgmt	7,500	3,750	-	3,750
Contracts-RTR Landscaping	58,516	29,258	27,724	1,534
Electricity - Streetlights	30,250	15,125	15,075	50
Electricity - Fountain	2,000	1,000	2,479	(1,479)

Statement of Revenues, Expenditures and Changes in Fund Balances
For the Period Ending March 31, 2026

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
R&M-Fountain	5,000	2,500	-	2,500
R&M-Irrigation	5,000	2,500	177	2,323
R&M-Lake	7,500	3,750	20,202	(16,452)
R&M-Streetlights	42,000	21,000	41,993	(20,993)
Invasive Plant Removal	10,000	5,000	4,290	710
R&M Landscape	10,000	5,000	3,730	1,270
Aerators - R&M	5,000	2,500	600	1,900
Total Field	<u>234,206</u>	<u>117,103</u>	<u>130,590</u>	<u>(13,487)</u>
TOTAL EXPENDITURES	399,072	219,070	230,450	(11,380)
Excess (deficiency) of revenues Over (under) expenditures	<u>-</u>	<u>170,002</u>	<u>148,007</u>	<u>(21,995)</u>
Net change in fund balance	<u>\$ -</u>	<u>\$ 170,002</u>	<u>\$ 148,007</u>	<u>\$ (21,995)</u>
FUND BALANCE, BEGINNING (OCT 1, 2025)	895,820	895,820	895,820	
FUND BALANCE, ENDING	<u>\$ 895,820</u>	<u>\$ 1,065,822</u>	<u>\$ 1,043,827</u>	

Statement of Revenues, Expenditures and Changes in Fund Balances
For the Period Ending March 31, 2026

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<u>REVENUES</u>				
Interest - Investments	\$ 200	\$ 100	\$ 11,242	\$ 11,142
Special Assmnts- Tax Collector	737,129	737,129	695,040	(42,089)
Special Assmnts- Discounts	(29,485)	(29,485)	(27,045)	2,440
TOTAL REVENUES	707,844	707,744	679,237	(28,507)
<u>EXPENDITURES</u>				
<u>Administration</u>				
Misc-Assessment Collection Cost	14,743	14,743	13,360	1,383
Total Administration	14,743	14,743	13,360	1,383
<u>Debt Service</u>				
Principal Debt Retirement	554,000	-	-	-
Interest Expense	132,184	66,092	66,092	-
Total Debt Service	686,184	66,092	66,092	-
TOTAL EXPENDITURES	700,927	80,835	79,452	1,383
Excess (deficiency) of revenues Over (under) expenditures	6,917	626,909	599,785	(27,124)
Net change in fund balance	\$ 6,917	\$ 626,909	\$ 599,785	\$ (27,124)
FUND BALANCE, BEGINNING (OCT 1, 2025)	442,185	442,185	442,185	
FUND BALANCE, ENDING	\$ 449,102	\$ 1,069,094	\$ 1,041,970	

WATERCHASE
Community Development District

Supporting Schedules

March 31, 2026

WATERCHASE

Community Development District

**Non-Ad Valorem Special Assessments
(Hillsborough County Tax Collector - Monthly Collection Distributions)
For the Fiscal Year Ending September 30, 2026**

Date Received	Net Amt Rcvd	Discount / (Penalties) Amount	Tax Coll Cost	Gross Amount Received	Assmnts	Allocation By Fund	
					Net Amt Assmnts	General Fund	Debt Service Fund
Assmnts Levied FY2026				\$1,131,996		\$394,867	\$737,129
Allocation %				100%		35%	65%
11/07/25	\$ 15,993	\$ 890	\$ 326	\$ 17,209	\$ 5,579	\$ 6,003	\$ 11,206
11/14/25	\$ 99,025	\$ 4,210	\$ 2,021	\$ 105,256	\$ 34,542	\$ 36,716	\$ 68,540
11/21/25	\$ 60,094	\$ 2,555	\$ 1,226	\$ 63,875	\$ 20,962	\$ 22,281	\$ 41,594
12/05/25	\$ 593,846	\$ 25,249	\$ 12,119	\$ 631,214	\$ 207,147	\$ 220,182	\$ 411,031
12/03/25	\$ 129,988	\$ 5,527	\$ 2,653	\$ 138,167	\$ 45,343	\$ 48,196	\$ 89,971
12/19/25	\$ 33,959	\$ 1,353	\$ 693	\$ 36,005	\$ 11,846	\$ 12,559	\$ 23,445
01/06/26	\$ 37,193	\$ 1,174	\$ 759	\$ 39,126	\$ 12,974	\$ 13,648	\$ 25,478
02/04/26	\$ 20,068	\$ 421	\$ 410	\$ 20,899	\$ 7,000	\$ 7,290	\$ 13,609
03/03/26	\$ 15,146	\$ 155	\$ 309	\$ 15,610	\$ 5,283	\$ 5,445	\$ 10,165
TOTAL	\$ 1,005,311	\$ 41,533	\$ 20,516	\$ 1,067,360	\$ 350,676	\$ 372,321	\$ 695,040
% COLLECTED				94%		94%	94%

Cash and Investment Report
March 31, 2026

General Fund

<u>Account Name</u>	<u>Bank Name</u>	<u>Investment Type</u>	<u>Maturity</u>	<u>Yield</u>	<u>Balance</u>	
Checking Acct - Operating	Valley Bank	Public Funds Checking	n/a	3.53%	\$ 881,258	
					GF Subtotal	\$ 881,258
Money Market Account	BankUnited	Business MMA	n/a	3.40%	\$ 168,170	
					GF Subtotal	\$ 168,170

Debt Service Fund

<u>Account Name</u>	<u>Bank Name</u>	<u>Investment Type</u>	<u>Maturity</u>	<u>Yield</u>	<u>Balance</u>	
Series 2017 Reserve Fund	US Bank	US Bank Open End CP	n/a	3.50%	\$ 67,816	
Series 2017 Revenue Fund	US Bank	US Bank Open End CP	n/a	3.50%	\$ 951,223	
					DS Subtotal	\$ 1,019,039
					Total	\$ 2,068,468

Bank Account Statement

Waterchase CDD

Bank Account No. 3101
Statement No. 03-26

Statement Date 03/31/2026

G/L Account No. 101001 Balance	881,258.10	Statement Balance	906,579.54
		Outstanding Deposits	0.00
Positive Adjustments	0.00		
		Subtotal	906,579.54
Subtotal	881,258.10	Outstanding Checks	-25,321.44
Negative Adjustments	0.00		
		Ending Balance	881,258.10
Ending G/L Balance	881,258.10		

Outstanding Checks

11/28/2025	Payment	100082	COMPLETE IT	Inv: 18328	-89.70
10/16/2025	Payment	300008	TAMPA ELECTRIC-ACH	Inv: 092625-ACH	-2,211.28
03/24/2026	Payment	100114	WATERCHASE CDD	Inv: 03172026-5000-1 Vend	-22,930.76
03/24/2026	Payment	100115	COMPLETE IT	Inv: 19489	-89.70
Total Outstanding Checks					-25,321.44

Total Outstanding Deposits

WATERCHASE COMMUNITY DEVELOPMENT DISTRICT

Payment Register by Fund

For the Period from 03/01/2026 to 03/31/2026

(Sorted by Check / ACH No.)

Fund No.	Date	Payee	Invoice No.	Payment Description	Invoice / GL Description	G/L Account #	Amount Paid	
GENERAL FUND - 001								
CHECK # 100102								
001	03/09/26	STRALEY ROBIN VERICKER	27882	Services Rendered Through January 31, 2026	ProfServ-Legal Services	531023-51401	\$728.00	
							Check Total	<u>\$728.00</u>
CHECK # 100103								
001	03/09/26	STEADFAST ENVIRONMENTAL	SA-20110	inspection of Compressors at #11 and #12 as well as the Fountain lights on Pond #11	Electricity - Fountain	543036-53901	\$565.50	
							Check Total	<u>\$565.50</u>
CHECK # 100104								
001	03/09/26	COMPLETE IT	19192	Email account 30GB	Website Compliance	534397-51301	\$89.70	
							Check Total	<u>\$89.70</u>
CHECK # 100105								
001	03/09/26	INFRAMARK LLC	171519	Month of: January 2026	Postage and Freight	541006-51301	\$4.44	
							Check Total	<u>\$4.44</u>
CHECK # 100106								
001	03/09/26	LANDSCAPE MAINTENANCE PROFESSIONALS LLC	383296	Meridian Point Dr, Brazilian Pepper Herbicide Treatment	Contracts-RTR Landscaping	534346-53901	\$317.10	
001	03/09/26	LANDSCAPE MAINTENANCE PROFESSIONALS LLC	381133	LANDSCAPE MAINT February 2026	Contracts-RTR Landscaping	534346-53901	\$328.20	
							Check Total	<u>\$645.30</u>
CHECK # 100107								
001	03/09/26	FULLER ELECTRICAL CONTRACTORS	18260	Removed existing leaning light pole and installed new c	R&M-Streetlights	546095-53901	\$1,296.75	
001	03/09/26	FULLER ELECTRICAL CONTRACTORS	18251	Inspected leaning light pole on Meridian Point Drive	R&M-Streetlights	546095-53901	\$510.00	
001	03/09/26	FULLER ELECTRICAL CONTRACTORS	16897_4	Light Pole installation	R&M-Streetlights	546095-53901	\$4,001.48	
							Check Total	<u>\$5,808.23</u>
CHECK # 100108								
001	03/12/26	INFRAMARK LLC	173002	Administrative Fees	Postage and Freight	541006-51301	\$5,582.08	
001	03/12/26	INFRAMARK LLC	173002	Administrative Fees	Misc-Contingency	549900-51301	\$666.67	
							Check Total	<u>\$6,248.75</u>
CHECK # 100109								
001	03/12/26	STANTEC CONSULTING SERVICES INC	2532466	Engineer services	ProfServ-Engineering	531013-51501	\$5,808.14	
							Check Total	<u>\$5,808.14</u>
CHECK # 100110								
001	03/12/26	STEADFAST ENVIRONMENTAL	SA-20636	Routine Aquatic Maintenance	Electricity - Fountain	543036-53901	\$1,720.00	
							Check Total	<u>\$1,720.00</u>
CHECK # 100111								
001	03/23/26	GRAU & COMPANY, P.A.	28691	Audit FYE 09/30/2025	Auditing Services	532002-51301	\$3,600.00	
							Check Total	<u>\$3,600.00</u>
CHECK # 100112								
001	03/23/26	INFRAMARK LLC	173969	Postage	Postage and Freight	541006-51301	\$2.96	
							Check Total	<u>\$2.96</u>
CHECK # 100113								
001	03/23/26	STEADFAST ENVIRONMENTAL	SA-21162	Repair of Four 3/4 HP Vertex Compressors	Electricity - Fountain	543036-53901	\$1,105.00	
							Check Total	<u>\$1,105.00</u>

WATERCHASE COMMUNITY DEVELOPMENT DISTRICT

Payment Register by Fund

For the Period from 03/01/2026 to 03/31/2026

(Sorted by Check / ACH No.)

Fund No.	Date	Payee	Invoice No.	Payment Description	Invoice / GL Description	G/L Account #	Amount Paid	
CHECK # 100115								
001	03/24/26	COMPLETE IT	19489	email account	Website Compliance	534397-51301	\$89.70	
							Check Total	<u>\$89.70</u>
CHECK # 300013								
001	03/20/26	TAMPA ELECTRIC-ACH	022726 ACH	SERVICE PRD January 24, 2026 - February 23, 2026	Electricity - Streetlights	543013-53901	\$2,481.87	
001	03/20/26	TAMPA ELECTRIC-ACH	022726 ACH	SERVICE PRD January 24, 2026 - February 23, 2026	Electricity - Fountain	543036-53901	\$190.26	
							Check Total	<u>\$2,672.13</u>
							Fund Total	<u><u>\$29,087.85</u></u>

SERIES 2017 DEBT SERVICE FUND - 203

CHECK # 100114								
203	03/24/26	WATERCHASE CDD	03172026-5000-1 VEND	FY2025 DS Assessment Collections	Due From Other Funds	131000	\$22,930.76	
							Check Total	<u>\$22,930.76</u>
CHECK # 1023								
203	03/06/26	WATERCHASE CDD C/O US BANK	02192026-5000-1	FY2025 DS Assessment Collections	Due From Other Funds	131000	\$24,219.06	
							Check Total	<u>\$24,219.06</u>
							Fund Total	<u><u>\$47,149.82</u></u>

Total Checks Paid	\$76,237.67
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